

REQUEST FOR CITY COUNCIL CONSIDERATION

Meeting Date: February 18, 2008

Agenda Item:	Prepared By: Aaron Rucker K:\JAMIE\ISSUE PAPERS\ISSUES 2008\STX-08-01 (2nd Reading).doc
Agenda Section: Business: Ordinance/Second Reading	Date: February 13, 2008
Subject: Land Development Regulations amendment -- Traditional Neighborhood Development [STX-08-01]	Division: Planning & Development

Background:

At the February 4, 2008 meeting, City Council adopted first reading of an ordinance to amend to the Land Development Regulations, found in Chapter 20 of the Code of Ordinances, to include a new section of development regulations for Traditional Neighborhood Development to support the zoning text amendment establishing a TND overlay district.

During the meeting February 4th, Council also requested that the maximum block length be reduced from 800 feet to 600 feet to further encourage walking, adding that Planning Commission should comment on this reduction.

At the Planning Commission meeting February 12th, Commission recommended the block lengths remain 400 to 800 feet instead of 400 to 600 feet because of concerns that isolated properties in the City potentially interested in utilizing the overlay district would now have remnant pieces of nonbuildable property because of the required break in the block. Staff explained that the overlay district would require 20% open space causing pieces of property to be nonbuildable parkland. Additionally, the ability to create a public right-of-way without pavement, to satisfy the break in the block requirement, could also be used.

Responding to Council's comments, two revisions were made to the typical cross-section designs; the residential lane now lists forty-four (44) feet of right-of-way and the typical collector street now illustrates 1'6" for curb and gutter (with eight (8) feet of parkway on both sides). Regarding the residential street design, there would be two sides of available on-street parking with one dedicated travel lane ten (10) to twelve (12) feet wide.

If approved, the amended Land Development Regulations would contain TND development standards establishing these typical cross-section designs for alleys, lanes, streets and collectors, and minimum/maximum block length requirements.

Recommended Action:

Adoption of the ordinance on Second Reading.

Reviewed by Division Head	Reviewed by City Manager	Reviewed by City Attorney

Council Action:

Motion By _____ 2nd By _____ To _____

6.C. LAND DEVELOPMENT REGULATIONS TEXT AMENDMENT STX-08-01:

An amendment to the Land Development Regulations text to establish road right-of-way design, including alley design, and maximum block length requirements in Traditional Neighborhood Design (TND) overlay zones and TND districts.

Following Planning Commission and City Council involvement and direction, staff has initiated an amendment to the text found in Chapter 20, Land Development Regulations, of the Code of Ordinances of North Myrtle Beach, to establish updated road right-of-way design, including alley design, and maximum block length requirements in Traditional Neighborhood Design (TND) overlay zones and TND districts.

Having collaborated with the Director of Public Works, Section 20-40 (**Streets**) would be amended to require sidewalks and parkway trees on both sides of the roadway, roundabouts, flexibility with utility placement, and a ribbon-style alley design. Section 20-42 (**Blocks**) would be amended to require a reduced maximum block length and width to encourage a more pedestrian-friendly neighborhood.

ORDINANCE

AN ORDINANCE OF THE CITY OF NORTH MYRTLE BEACH PROVIDING THAT THE CODE OF ORDINANCES, CITY OF NORTH MYRTLE BEACH, SOUTH CAROLINA, BE AMENDED BY REVISING SECTIONS 20-40, 20-42, and APPENDIX A OF SAID CODE.

BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF NORTH MYRTLE BEACH, SOUTH CAROLINA, IN COUNCIL DULY ASSEMBLED, THAT:

Section 1:

That Section 20-40(l) be amended as follows:

(l) *Alleys:*

Service alleys or drives may be utilized in residential, commercial, and industrial developments. Creation of new alleys within public right-of-way shall be prohibited.

All alleys shall be constructed according to the city's design standards as contained in Appendix A of this ordinance (located at the end of this chapter).

Section 2:

That Section 20-40(m) be amended as follows:

(m) *Design standards for streets.* The following street design standards shall be considered minimum requirements. For Traditional Neighborhood Developments, all streets shall be constructed according to the city's design standards as contained in Appendix A of this ordinance (located at the end of this chapter).

Section 3:

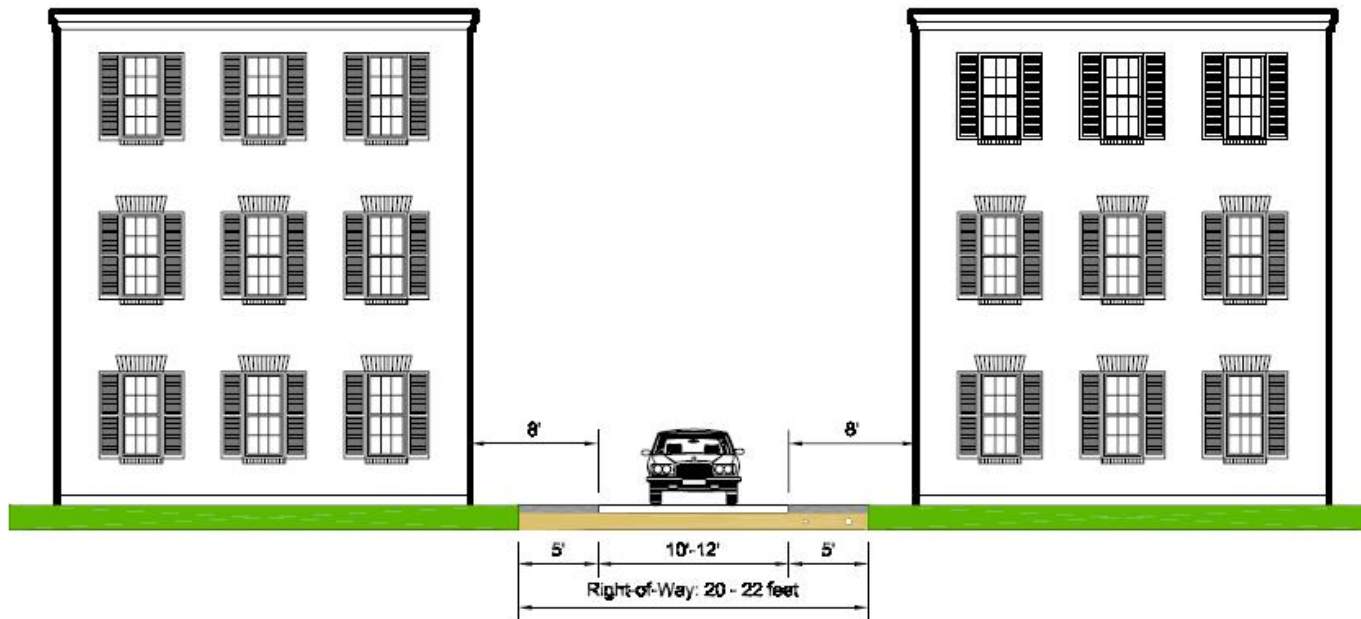
That Section 20-42(a) be amended to add number (1) as follows:

(a)(1) *Length for Traditional Neighborhood Developments:* Block lengths shall be between four hundred (400) and six hundred (600) feet; however, the maximum length would be allowed to increase to eight (800) feet if significant natural/recreational feature(s), i.e. wetlands and/or parkland, were present or provided within the new block.

Section 4:

That Appendix A be amended to add typical cross-sections as follows:

COMMERCIAL / INDUSTRIAL ONLY



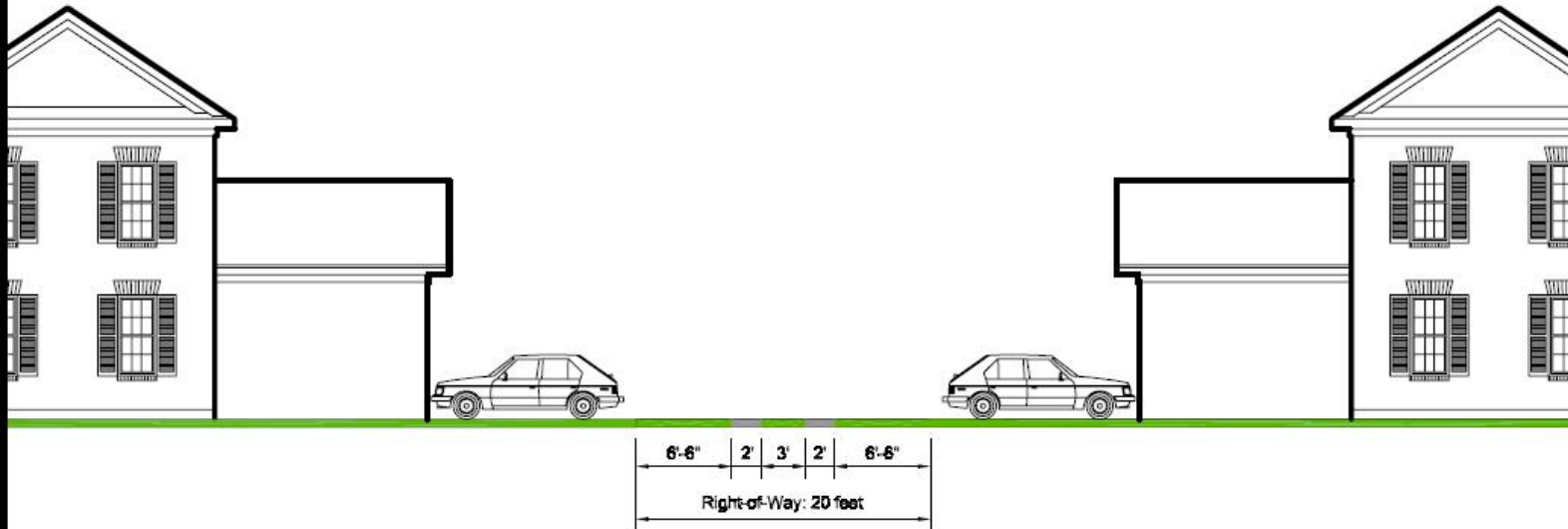
Street

- Speed 5-10 mph
- Requires a 20 foot minimum ROW
- Utility location underground on one side
- Paved width minimum of 10 feet

CITY OF NORTH MYRTLE BEACH

Typical Commercial and Industrial Alley

RESIDENTIAL RIBBON - STYLE ALLEY

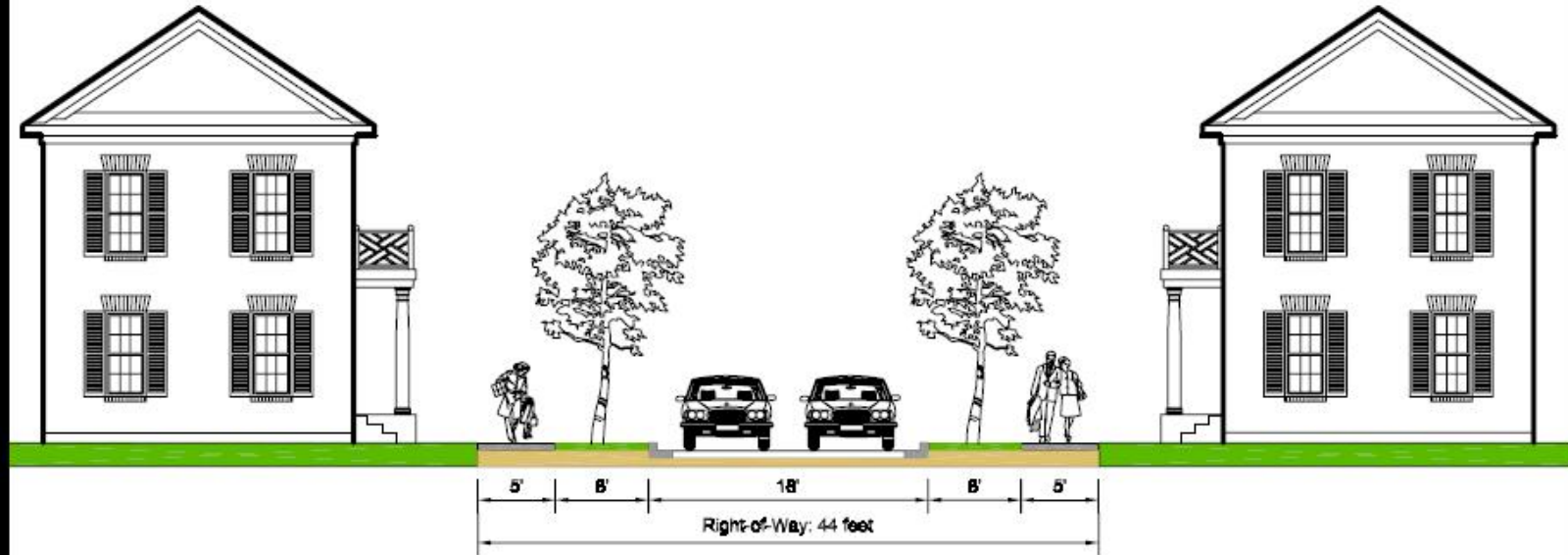


Street

- 2 foot wide impervious drive strips
- 3 foot wide center pervious strip

CITY OF NORTH MYRTLE BEACH

RESIDENTIAL - LANE



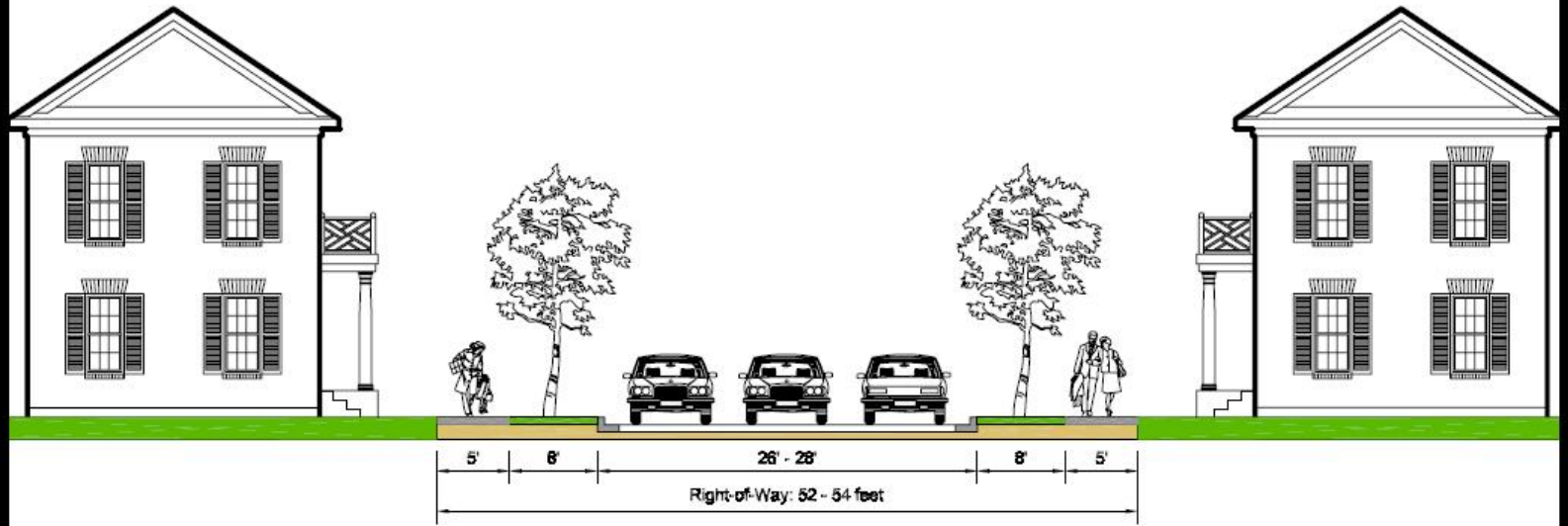
Street

- Street width 16 - 18 feet with curb, gutter and informal parking
- Planting strips 8 feet
- Sidewalks 5 feet on each side
- Average speed 15 mph
- Requires a 44 - foot ROW
- Utility location - Underground or alley
- Drainage - Curb and gutter
- Two to six blocks long

CITY OF NORTH MYRTLE BEACH

Typical Residential Lane

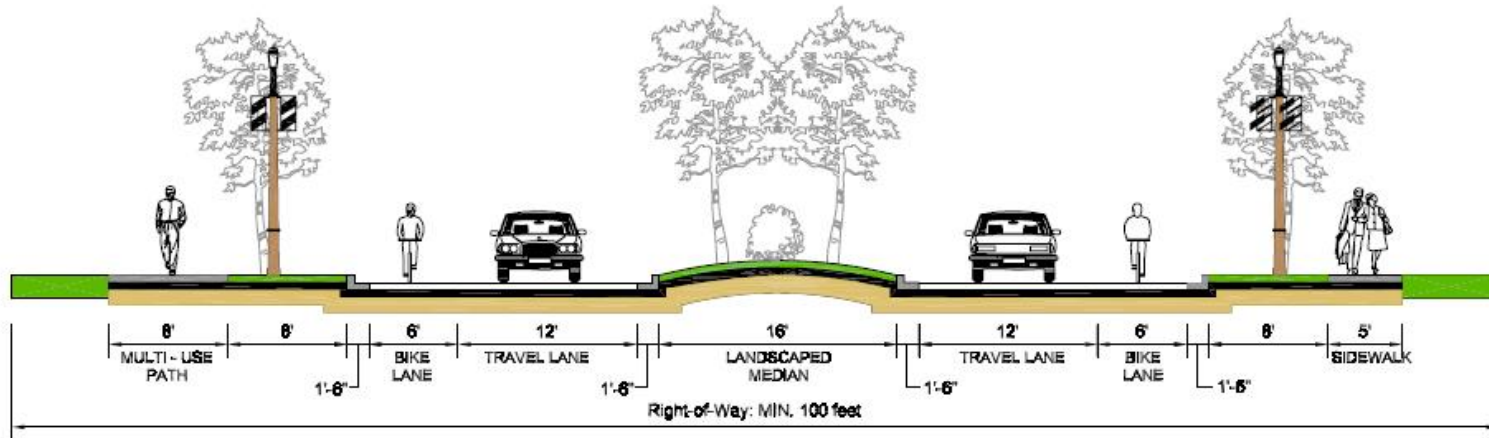
RESIDENTIAL - STREET



- Street**
- Street width 26 - 28 feet with curb, gutter and informal parking
 - Planting strips 8 feet
 - Sidewalks 5 feet on each side
 - Average speed 20 mph
 - Requires a 52-54 foot ROW
 - Utility location - Underground or alley
 - Drainage - Curb and gutter
 - Two to six blocks long

Typical Residential Street

TYPICAL COLLECTOR STREET



CITY OF NORTH MYRTLE BEACH

Typical Collector

Section 5:

That the North Myrtle Beach Planning Commission has provided the required public notice of this request and has held the necessary public hearings in accordance with applicable State Statutes and City Ordinances.

DONE, RATIFIED AND PASSED, THIS _____ DAY OF _____, 2008.

ATTEST:

Mayor Marilyn Hatley

City Clerk

APPROVED AS TO FORM:

City Attorney

FIRST READING: _____

SECOND READING: _____

REVIEWED:
