



PLANNING COMMISSION MEETING AGENDA

Tuesday, March 22, 2022 – 5:00 P.M.

Morning Workshop 9:15 A.M.

1018 Second Avenue South - North Myrtle Beach, SC

1. CALL TO ORDER
2. ROLL CALL
3. COMMUNICATIONS
4. APPROVAL OF MEETING MINUTES: February 22
5. OLD BUSINESS
 - A. **MAJOR PLANNED DEVELOPMENT DISTRICT AMENDMENT Z-22-2:** City staff received an application for a major amendment to the Parkway Group Planned Development District (PDD) creating the Palmetto Coast Industrial Park through changes to the governing documents, including narrative, plans, and elevations.
 - B. **FIRST PUBLIC HEARING REGARDING THE DEVELOPMENT AGREEMENT ASSOCIATED WITH THE MAJOR PLANNED DEVELOPMENT DISTRICT (PDD) AMENDMENT CASE Z-22-2 AND REVISIONS TO THE PARKWAY GROUP PDD:** The North Myrtle Beach Planning Commission will host the first of two public hearings regarding the proposed Separate and Independent Amendment to the Master Development Agreement associated with the major amendment to the Parkway Group PDD. The proposal creates an independent agreement for the Palmetto Coast Industrial Park.
6. NEW BUSINESS
 - A. **ANNEXATION & ZONING DESIGNATION Z-22-4:** City staff received a petition to annex lands on Riverside Drive totaling ±0.46 acres and identified by PIN 311-16-04-0018. The lot is currently unincorporated and zoned Manufactured/Mobile Single-Family Residential (MSF 10) by Horry County. The petition also reflects the requested City of North Myrtle Beach zoning district of Single-Family Residential Low-Density (R-1) and will be heard concurrently.
 - B. **ZONING ORDINANCE TEXT AND MAP AMENDMENT ZTX-22-2:** City staff has initiated an amendment to the zoning ordinance text to revise the exempt public service uses to include public off-street parking lots with or without public bathrooms and/or bathing facilities.
 - C. **ZONING ORDINANCE TEXT AND MAP AMENDMENT ZTX-22-3:** City staff has initiated an amendment to the zoning ordinance text to revise the definition of *Park and Sport Complex* and *Public Park and Recreation Facilities* to include supported commercial and/or fee-based recreational activities approved by the City.

ANYONE WHO REQUIRES AN AUXILIARY AID OR SERVICE FOR EFFECTIVE COMMUNICATION OR PARTICIPATION SHOULD CONTACT 843-280-5555 AS SOON AS POSSIBLE, BUT NO LATER THAN 48 HOURS BEFORE THE SCHEDULED EVENT.

D. **FINAL SUBDIVISION PLAT SUB-21-68:** A major final plat of subdivision dedicating Grande Dunes North Village Boulevard in the Grande Dunes North section of the Parkway Group Planned Development District (PDD).

7. ADJOURNMENT

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Aaron C. Rucker". The signature is fluid and cursive, with the first name "Aaron" and last name "Rucker" clearly distinguishable.

Aaron C. Rucker, AICP
Principal Planner

Notice to the Public of Rights under Title VI

- The City of North Myrtle Beach operates its programs and services without regard to race, color, and national origin in accordance with Title VI of the Civil Rights Act. Any person who believes he or she has been aggrieved by any unlawful discriminatory practice under Title VI may file a complaint with the City of North Myrtle Beach. Complaints must be filed within 180 days of the alleged discriminatory act.
- If information is needed in another language, contact (843)280-5555.
- ~Si se necesita *información en otro idioma llame al (843)280-5555.*

CITY OF NORTH MYRTLE BEACH, SOUTH CAROLINA
NORTH MYRTLE BEACH CITY HALL
PLANNING COMMISSION MEETING
Tuesday, February 22, 2022
5:00 PM

MINUTES

Harvey Eisner, Chairman
Silvio Cutuli
Tom Edwards
Ruth Ann Ellis
Joe Gosiewski Jr
Ed Horton
Callie Jean Wise

City Staff:
Jim Wood, Director
Aaron Rucker, Principal Planner
Suzanne Pritchard, Senior Planner
Chris Noury, City Attorney
Allison Galbreath, City Clerk

1. **CALL TO ORDER:** Chairman Eisner called the meeting to order at 5:00 PM.
2. **SWEARING IN OF NEWLY APPOINTED BOARD MEMBER:** Chris Noury, City Attorney, swore in Joseph Gosiewski Jr as the newly appointed member to the Planning Commission.
3. **ROLL CALL:** The City Clerk called the roll.
4. **COMMUNICATIONS:** Chairman Eisner stated they discussed the Sports Park Expansion at the morning meeting.
5. **APPROVAL OF MEETING MINUTES:** The motion to approve the minutes for the February 8, 2022 meeting, as presented, was made by Commissioner Horton and seconded by Commissioner Cutuli. Chairman Eisner called for the vote. The motion passed 7-0.
5. **OLD BUSINESS:** None
6. **NEW BUSINESS:**
 - C. **ZONING ORDINANCE TEXT AND MAP AMENDMENT ZTX-22-1:** City staff had initiated an amendment to the zoning ordinance text to revise the Crescent Beach Neighborhood Overlay (CBNO) by extending the boundaries and creating standards governing height, uses, and design along the oceanfront and second row. Director Wood gave an overview of the history of the agenda item. Mr. Rucker went over the specific details of the proposed changes. Mr. Wood stated the Planning Commission was an advisory board and this would come before the City Council at the next Council meeting on March 7, 2022. Chairman Eisner opened the floor for public comment.

Susan Platt, 942 South Ocean Boulevard, North Myrtle Beach, stated the reason we did not have other high-rise buildings was because they didn't want them. She stated they had been there for years when Wyndham and Bay Watch went up and cranes were the new bird in North Myrtle Beach. There was a lot of kickback from the community. She stated 165' were what they did not want. She wasn't sure anyone wanted 135' either. She stated there were 9 other properties, including San A Bel and Malibu Pointe. She inquired who the other owners of the properties were. They were already concrete and steel properties. She didn't see there were only 6 other properties, one being Castaway. She stated it seemed like to her that they were doing this one little block for a specific reason. She stated the reason she was concerned that if they did the overlay, they did not have to come before the Planning Commission and have a public hearing. The public would not see the plans and they would go straight to staff and that would take away her right. It was obvious that someone knew something about what would go there. She would like to know what the plans were.

They were not standing there doing this because someone just said they wanted to rezone it. She wanted to know the plans and exercise her right for public comment. She pointed out Commissioner Wise's comment about parking was a good idea, but the Prince Resort owner made a concession to reduce the height of the ocean front building. If they were going to get in with the devil and North Myrtle Beach was going to give that much parking, ask for the concession on ocean front. Another suggestion would be to offer money for the land that has not been developed and put ocean front parking and second row parking. She wanted to make a land grab for the city. In the future, it would be the city's property to build up. It would decrease density, there would not be an argument with the neighbors, and it would provide parking. She stated she was there when they spoke about \$1,100 per 500 houses, when one parking lot was \$35,000, at the low end. She would be on board with the city buying it and putting in parking.

Sabina Lynskey, 1417 Hillside Drive South, North Myrtle Beach, stated that changes were not to be made to the map unless it was necessary. She inquired what made it necessary. Chairman Eisner stated it was for revitalization. Ms. Lynskey asked what was the potential for growth with Malibu Pointe and San A Bel already existing. How did they revitalize that area given that those two were developed? If the purpose was necessary because of revitalization, why were they incorporated in this when they were already developed? It didn't seem like there was opportunity there if the goal was revitalization. Director Wood stated in a typical overlay there was a connected continuous district, instead of being isolated. There was nothing magical about Malibu Pointe, it was included to be continuous. Ms. Lynskey stated she understood, but in R4 they could already put hotels and restaurants. She inquired why they would have to continue to move forward with RC, if those items could already be allowed in R4. Chairman Eisner stated that was a concern by some people, they did not want to have two rows of high-rises. Ms. Lynskey stated that height was the concern. Chairman Eisner stated it was always the concern. Ms. Lynskey stated there was a condo complex next to Castaway that was three levels with surface parking to make four stories. They could go to 165'. There would not be a limit to reduction in density. She stated if they were reducing total density for the Castaway property and the two lots across the street were reducing by three stories. But they were increasing by six. San A Bel would be allowed to go to 165' and the other complex, too. She wasn't saying they would, but they could. Right now, they were limited to 135'. Now they would be able to go to 165', so we have not eliminated density. Ms. Lynskey stated the same owner of Castaway owns two lots on second row and two lots on third row. She inquired if they would be allowed to offset parking in the third row in the same way they did at the Best Western. Director Wood stated parking had to be within 300 feet. The third row property was not in the overlay. Ms. Lynskey stated it could be overlooked as a potential use for parking. They could maximize the accommodations on the ocean front if they had another option for parking on the third row.

Anne Brosnan, 1625 South Ocean Boulevard, North Myrtle Beach, stated this overlay allowed the developer to build 18 floors of residential, ocean front rooms in the R-4 zoning. The proposed overlay was basically the same as RC zoning. There was no other ocean front residential overlay on North Myrtle Beach. The overlay would set a very bad precedent. What would stop a developer in the future from applying for an overlay in R-4 zoning? With this precedent set, how could you deny it? The Planning Commission listened to the community and unanimously voted to not have RC zoning in the area. The City Council seemed to be the one to push the overlay. Why? Who chooses to get an overlay? One friend could have one, but someone else couldn't? Ms. Brosnan stated there seemed to be a case of ethics was involved. This person could have an overlay, but this one couldn't. It was a recipe for corruption and future lawsuits. Why was the City Council considering an overlay change to the R-4 zoning? Was it because one particular developer did not want to follow the rules? The rules were in place for everyone and just certain developers. Why did they have Planning and Zoning at all if not for this very reason. As to the issue of density, one building with 18 floors or two buildings with 9 floors was still 18 floors, which was the same density. It was her understanding

that there were over 900 signatures from residents and property owners opposed to any change in the R-4 zoning. That was 900 community against and 1 developer for. At the June 22, 2021 Planning Commission meeting, the Board voted unanimously with the people and said no for the proposed R-4 to RC zoning. They did not rubber stamp it then and she asked to please not allow the corruption of the R-4 zoning to go through now. She respectfully asked all of them to vote no to the overlay.

Ed Littlejohn, 1625 South Ocean Boulevard, North Myrtle Beach, stated he would like to applaud the previous presentation and speak to something that had not been brought up. The overlay that was in the distribution that came out showed the new structure of the ordinance would go down the middle of 17th Avenue South. That was one of two major accesses to the beach. Main Street and 17th Avenue South were essentially four lane roads coming to the beach. At the beach end of 17th Avenue was a large parking area and public bathrooms, one of only two between there and Main Street. He urged them not to do anything with that parking area. If Molly Darcy's went away, so be it. He asked them not to infringe on that parking area. It was the largest on the whole beach. He did not understand the construct of the overlay. It was already mentioned about San A Bel and Malibu Pointe. They were already large concrete structures and it made no sense to redo them. If they were going to do an overlay, why not do it farther to the beach on the other side of those structures. They would still be connected on the north end of 17th Avenue.

Jay Van Deven, 2500 North Ocean Boulevard, North Myrtle Beach, stated his main concern was that this would be a can of worms and once it was done it would work its way down the beach. He stated he was against it, because what would happen with the next developer. This had been happening since 2018 and the properties were getting worse and worse. What was being done to maintain it? It had been degrading since 2018. Were they waiting for this to get passed? Mr. Van Deven stated he walked the property and there were violations and it had been going on for years. We need to maintain what was there before we maintain an offense. He stated he was against this because it would snowball. It would set a precedent for the future of North Myrtle Beach. He was for growth, but not for overgrowth.

Debby LaPierre, 1414 Hillside Drive South, North Myrtle Beach, stated she was a full-time resident and property owner. They had talked about density in hotels and condos, but what about the density of the beach? How many people could go on the beach at high and low tide? They couldn't consider just the building structure. The beach was public property. What about the people who rent or live part-time or full-time from Madison all the way down to the beach? Was there enough room to accommodate more people in high-rises in addition to those that presently owned property or rented property part-time that's not located on the beach? She would like them to think about the beach density.

Director Wood stated they had received some correspondence from residents that would like to have their statements read into the record. Director Wood and Mr. Rucker read the following:

Jim and Linda Yokley, 1625 South Ocean Boulevard, Unit #602, North Myrtle Beach.

We are unable to attend the upcoming North Myrtle Beach Planning Commission meeting and respectfully request that you read this letter into record at the Planning Commission Meeting on February 22, 2022.

As Crescent Beach property owners for the past 17 years, we are strongly opposed to Crescent Beach Neighborhood Overlay proposal [ZTX-22-1]. According to 6C. ZONING ORDINANCE TEXT AND MAP AMENDMENT ZTX-22-1:

"The purpose of this overlay is to accomplish the City's Comprehensive Plan goals for pedestrian-friendly streets that may also serve as public gathering spaces and encourage sustainable economic development and redevelopment by increasing activity and preserving neighborhood commercial character along the 17th Avenue South corridor and in certain areas along Ocean Boulevard."

Two things are clear about this overlay proposal. First, it is clear that recommending an overlay that increases the high-rise building height from 135' to 165' on the oceanfront will further overcrowd the narrowest part of Crescent Beach. Secondly, the planned, "minimum 10% of their ground floor area for street-fronting commercial"

in the garage area is not enough to contribute to street-front commercial enterprise in any meaningful way that will benefit the surrounding community. In other words, it will not achieve the City's Comprehensive Plan goals of, "sustainable economic development and redevelopment by increasing activity". For generations, families have vacationed at Crescent Beach because it has been able to maintain a family friendly environment. Increasing the building height allowance to 165ft in order to provide more oceanfront units creates serious problems given the already overcrowded peak season that presents yet to be resolved problems with traffic, parking, littering and beach crowding. Creating further overcrowding does not achieve the City's Comprehensive Plan goals of, "preserving neighborhood commercial character". According to the planning commission overlay summary, "All uses allowed in the RC district would be permissible within the overlay". In other words, the proposed overlay is just another way to allow RC development in an R-4 zone. In a prior petition, we along with over 1000 area residents, expressed our opposition to the RC zoning. The proposed overlay should therefore be denied and the zoning should remain as R-4. Denying the Overlay Zoning Ordinance Text Amendment [ZTX-22-1] and maintaining the current zoning of R-4 (Resort Residential), will protect Crescent Beach from being exploited and preserve the neighborhood character that families have enjoyed for years.

Theresa Sullivan, 1625 South Ocean Boulevard, Unit S308, North Myrtle Beach.

Good Morning! As the owner of a condo in Crescent Shores and not being able to attend today's meeting, I would like it known that I oppose the proposed Overlay. Please read this letter into record at the Planning Commission and City Council Meeting February 22nd, 2022. Thank you! Kind Regards.

Ted Evans, 1604 Crescent Shores, North Myrtle Beach.

I am opposed to the Zone Change by the Planning Commission. "Please read this letter into record at the Planning Commission and City Council Meeting February 22nd, 2022."

Mark and Tina Mullins, North Myrtle Beach.

Please have the following read into the record at the Planning Commission meeting on Feb.22. As full-time residents and property owners in the Crescent Beach section, we strongly oppose rezoning and/or an overlay of the 17 Ave., South area of Crescent Beach. Unfortunately, we have family matters that preclude us from attending the Feb. 22 meeting. We've been involved in the hearings regarding the proposed rezoning of 9.28 acres near 17th Ave. South in Crescent Beach from R-4 to RC. The Planning Commission UNANIMOUSLY recommended denial of the request back in June 2021. An overwhelming majority of the residents and owners are opposed to rezoning. Only two people appear to be in favor of rezoning—the mayor and Mr. McGonigal, who owns and wants to develop property in the area at issue. The Planning Department's proposed overlay would allow an 18-story oceanfront high rise with 9 stories across the street. This would DOUBLE the oceanfront density currently allowed. In addition, the proposal does not specify that the nine stories across the street would be limited to parking garages. Although the Council suggested the need to bring in retail and restaurants, the proposal requires only 10 percent of the first floor of the parking garages to be used for retail. The overlay is just another way of allowing commercial development without actually changing the zoning. In fact, the proposal states that it would "Allow RC Uses within the entirety of this section of the overlay." WHY is this still being considered when there is such strong opposition against it? Is there a reason for giving special treatment to Mr. McGonigal? Presently, there are no overlays on the oceanfront of North Myrtle Beach, and there's no need to approve an overlay now. The current zoning allows for a 13-story building (9 stories of living space with 4 of parking), such as Mar Vista in the Ocean Drive area and Bahama Sands in the Crescent Beach area. Preservation of the beach and the concerns of the residents and owners should be put ahead of the financial gain sought by one developer! Please vote "NO" to rezoning and/or an overlay in the 17th Ave., South area of Crescent Beach. Respectfully submitted.

Dana Manzari, Crescent Shores, North Myrtle Beach.

Please read this letter into record at the Planning Commission and City Council Meeting February 22nd, 2022" I am a resident from Crescent Shores. I have stated many many times that I am opposed to this rezoning. It does not benefit the residents in this area. My concerns are the health of the beach, the increased traffic in the area, storm management. The ONLY one to benefit is Thomas McGonigal and the mayor of N Myrtle Beach! I am unable to attend this evening's meeting. Respectfully yours.

John Chidley, Crescent Shores, North Myrtle Beach.

"Please read this letter into record at the Planning Commission and City Council Meeting February 22nd, 2022."

I would like to express my opposition to the proposed zoning overlay in Crescent Beach. North Myrtle Beach has become grossly overbuilt already in past several years. Jamming even more people into the available space will only exacerbate traffic and planning issues. Emphasis should be on upscaling the municipal image and amenities, not on growth.

Nicholas and Ann Liparulo, Crescent Shores, Unit 1307 South, North Myrtle Beach.

Please read this letter into record at the Planning Commission and City Council Meeting February 22nd, 2022."

I am an owner of a unit in the Crescent Shores Condominium. I am opposed to the proposed Overlay for most of the area between 17 Avenue South and 18th Avenue South and between the Ocean and Perrin Drive. If passed this Overlay will set a VERY BAD PRECEDENT for NMB. This overlay will be the first to increase the height restrictions in R4 zoning on the oceanfront. At present there is only an overlay on the oceanfront for parking. This will allow 18 floors of residential oceanfront units, with 90 feet of parking garage behind. R4 ONLY ALLOWS 9 FLOORS residential units above the parking levels. In effect, it extends the total height requirement from 135' in R4 to 165'. THIS OVERLAY IS JUST ANOTHER NAME FOR RC ZONING! Anywhere this overlay is applied in R4 zoning in the future, will effectively result in giving a developer RC zoning. The area already has parking and building security issues and this will increase them. Furthermore, we picked this location due to the atmosphere of the area surrounding the condo. The relaxed and relatively quiet atmosphere is what we want. It is much nicer than other areas in North Myrtle Beach.

An additional email was received after the meeting.

Dennis and Joyce Novitzke, 1625 South Ocean Boulevard, Unit S211, North Myrtle Beach.

"Please read this letter into record at the Planning Commission and City Council Meeting February 22nd, 2022."

My wife and I are opposed to the re-zoning of the overlay parcel between 17th-18th Streets on Ocean Blvd and Perrin Drive. We do not believe the infrastructure is here at this time. Parking and the amount of new people this proposal will bring to the area would cause a huge influx of congestion to this area of NMB. The beaches are already overcrowded and there are plenty of places to dine or have family activities with things the way they are. It is upsetting that this proposal is on the agenda when we thought the issue was voted down at the last meeting. Thank you for your consideration.

Chairman Eisner stated there may be other ways to revitalize a district than the overlay district. He was concerned with the height and always had been. This was zoned for 135' and there was nothing to do about it. The overlay had some possibilities and disadvantages. He would not personally support it. Commissioner Wise inquired if it was true that in the R-4 district they could build 135' on row 1, 2, and 3. Director Wood affirmed that was correct. Commissioner Wise stated with the overlay that would eliminate the second row from being built to 135'. Currently, a developer could go from 16th Avenue South to 19th Avenue South on row 1, 2, and 3 and build up to 135' with accommodations and parking underneath. She stated that seemed like that was more density with the current zoning. Director Wood agreed that was true, but there was a minimum of 20% of parking that was required to be on the same property of the ocean front site. That would mean at least 2 levels of parking for a 165' building. The Board and staff discussed how much parking would be required in each of the zones on the rows.

Commissioner Wise asked if there were other overlays on the beach. Director Wood stated there were other overlays within the city. Commissioner Wise stated they were essentially looking at was a 30' difference in height and restricting the accommodations on the second row. This would reduce the amount of density and provide parking on the second row. Director Wood stated the staff tried to come up with a way to take advantage of the extra height, but give up some of the density on the second row. Commissioner Horton pointed out the overlay was not about a density issue. He stated the density could be accomplished by the other zoning. Director Wood stated the retail shops and coffee shops could only be in RC. The only way to have them in R4 would be as an accessory to the hotel.

Commissioner Wise stated she was pro-business and was about doing what was best for the community. She used to work for the city and knew about the inner workings of the city. She did not believe there was one person making a decision on Council or playing favorites with individuals. North Myrtle Beach had an aging inventory and business owners needed to be taking care of them. She stated that not necessarily tearing down the old, but provide a type of accommodation that would attract the type of people wanted. Individuals would choose to go to other accommodations in other neighboring cities. She stated the Parks and Recreation Department had a hard time getting

individuals to stay within the city, because of limited hotel options. They needed hotel options to assist the sports teams to stay on site. Another thing she saw in the future were the 500 homes that would be coming to the Possum Trot area with the Del Webb Homes. Each person would like to be a part of the beach life and everyone would have a golf cart. They only had one way to get to the beach by 6th Avenue South. Having an updated 17th Avenue South would help. She suggested a public and private partnership with parking garages to help with the future parking that would be an issue. Beechwood may be developed and we need to look at it for the future. The city had four main streets and she believed 17th Avenue South would become the new Main Street with the development of Beechwood. They needed to work on and make sure there was enough parking and revitalize that area. The current buildings in the area still needed updating to attract desired visitors. Commissioner Wise stated in the new developments that were coming, especially Del Webb, the City Council would receive \$1,100 for each door for a parking fee. She suggested that this money would be earmarked to help the city provide additional parking on the 17th South Avenue area. She also suggested the owners of Crescent Shores, San A Bel, Malibu Pointe, Hewetts, Castaway, and Condo World get together with the city staff to make future plans for a live-work-play area and provide a destination location that was within walking distance. This would help everyone to revitalize their properties.

Commissioner Horton reiterated we had an incredible amount of aging inventory. In the accommodation world, they redo facilities every 7 years. There were several condos that had not been touched or redone for 25-30 years. The rents would not keep up with the cost of maintaining the buildings. It would create an atmosphere that would go from a vacation rental to permanent and annual rentals to temporary rentals with monthly, weekly, and daily rentals. We had to create a revitalized area. If not, this lent itself to incredible crime areas. We were not talking about increasing density today. We may be providing a path for a decline in the neighborhood. It would be important to maintain the properties we had. Commissioner Wise also pointed out that the overlay should be on the north end up to 16th Avenue South to protect the area for future revitalization. This would prevent a developer from building 135' building on rows 1, 2, and 3. It would make sense to extend the overlay to 16th Avenue South. This would control the amount of accommodations in the area.

Sabina Lynskey, 1417 Hillside Drive, North Myrtle Beach, stated she didn't disagree with Commissioner Wise. She stated in the 2018 Comprehensive Plan, it stated that a small area plan should be created for those areas before they break ground. That did not exist. She stated they were asking for a plan. Please say no, develop a plan, and engage the community. They wanted a district that had store fronts. In the plan, there were three levels. She stated there was a property she walked by every day that was currently zoned for commercial use and it was a waist land. They were asking for the plan to be run. She wasn't asking for them to not touch her neighborhood, but to hold certain people accountable. You were speaking with property owners that take care of their property. It was a personal responsibility that had been neglected. Someone had created a problem and now was engineering a solution to it. It felt horrible ethically to watch it happen. She asked to put in a crosswalk at 17th Avenue and Hillside, because they were talking about walkability. It was by no means walker friendly. She was asking for a small neighborhood plan to be discussed and put in detailed writing before they started amending the zoning. They don't disagree with revitalization, but they did with greed.

Owen Brosnan, 1625 South Ocean Boulevard, stated that no one there was saying anything about the revitalization. The owner of the property could stay R-4. What he wanted was more. He did not think they should do it. They were opening up a can of worms that was unbelievable and he hoped they all could see it. No one said they didn't want it to be revitalized. They liked the property. He stated that if he owned the property and put in a 40-story building. All he had to do was buy it, let

it become a dump and then they could go to the Planning Board and get a skyscraper. That was basically what appeared to be going on. The person had the property, there was a code. Stay by the code. It was very simple.

Susan Platt, 942 South Ocean Boulevard, North Myrtle Beach, stated she wanted to address what Commissioner Horton said and she was sorry Mr. Eisner, he could roll his eyes all he wanted. She stated that there was a strong argument for condos. If you went to Myrtle Beach, hotels that were deteriorated lost their franchise. Then the situation would arise and you were using that argument for condos, but the ones they were knocking down in Myrtle Beach were the ones that were rented week-to-week and night-to-night. They were deteriorated and declined. What would happen if you put all your eggs in one basket and into one big hotel on the ocean? And that family or entity mismanaged the money and the city would be left dealing with it. She stated then we would have compromised the density and space. She stated she had to rebuttal the argument. It was the same thing even with a timeshare or HOA, they were more secure because those had to be renovated. Commissioner Horton stated if they didn't have the right environment, it wouldn't happen. Ms. Platt stated it could be enforced by code enforcement and the properties wouldn't be so run down.

Anne Brosnon, 1625 South Ocean Boulevard, North Myrtle Beach, asked to state one more thing. She could not see any developer that would build three rows back behind each other with no view. The amount of money it would cost to build a high-rise as opposed to three more buildings back was ridiculous. What developer would do that? They would have no view of the ocean. The value was in the ocean front. That was the value and that was what the developer wanted. He wanted the maximum amount of ocean front. This gentleman wanted to have 17 ½' bays as opposed to 11-13' bays. The 17 ½' was more like a condo. Why wouldn't they want the maximum of the ocean front and not mind the parking behind? As far as the third row, who in their right mind, would want to go one, two, and three at any height and had not have any view of the ocean? The money was in the ocean front.

Having no further comments from the public or Commission, Chairman Eisner called for a motion. Commissioner Cutuli motioned to forward the Zoning Ordinance Text and Map Amendment ZTX-22-1 to the City Council with a recommendation of denial and was seconded by Chairman Eisner. The motion to deny failed 3-4. Commissioners Ellis, Gosiewski, Horton, and Wise voted nay. Chairman Eisner called for another motion. Commissioner Wise motioned to forward the Zoning Ordinance Text and Map Amendment ZTX-22-1 to the City Council with a recommendation of approval and was seconded by Commissioner Horton. The motion to approve passed 4-3. Chairman Eisner, Commissioner Cutuli, and Commissioner Edwards voted nay.

B. ANNEXATION & ZONING DESIGNATION Z-22-3: City staff received a petition to annex lands on Cenith Drive totaling ±0.79 acres and identified by PIN 357-02-04-0052. The lot is currently unincorporated and zoned Commercial Forest Agriculture (CFA) by Horry County. The petition also reflects the requested City of North Myrtle Beach zoning district of Single-Family Residential Low-Density (R-1) and will be heard concurrently. Ms. Pritchard stated this was discussed at the morning workshop.

Having no comments from the public or Commission, Chairman Eisner called for a motion. Commissioner Cutuli motioned to approve the Annexation and Zoning Designation Z-22-3, as submitted, and was seconded by Commissioner Wise. The motion to approve passed 7-0.

7. **ADJOURNMENT:**

Chairman Eisner called for a motion to adjourn the meeting. Commissioner Horton motioned to adjourn the meeting and was seconded by Commissioner Ellis. The motion to adjourn passed 7-0. The meeting adjourned at 6:09 PM.

Respectfully submitted,

Allison K. Galbreath
City Clerk

NOTE: BE ADVISED THAT THESE MINUTES REPRESENT A SUMMARY OF THE PLANNING COMMISSION MEETING AND ARE NOT INTENDED TO REPRESENT A FULL TRANSCRIPT OF THE MEETING.

5A. MAJOR PLANNED DEVELOPMENT DISTRICT AMENDMENT Z-22-2: City staff received an application for a major amendment to the Parkway Group Planned Development District (PDD) creating the Palmetto Coast Industrial Park through changes to the governing documents, including narrative, plans, and elevations.

History and Background

Near the intersection of Highway 31 and Highway 22 and bounded by the Grande Dunes and Barefoot PDDs and the Intracoastal Waterway, the Parkway Group PDD was originally entitled in 2008. The originally approved PDD was approximately 1,363 acres and contained a variety of commercial and residential uses. The section to the northwest of Highway 31 was largely undetailed at the master plan level but governed by the approved PDD narrative and pattern book. To date, little progress has been made on actual construction of the PDD, but portions of the Grande Dunes North and the Waterside subdivision infrastructure are underway.

Proposed Changes

The applicant, Mark Stoughton of DRG, agent for the developer, has requested an amendment to the Parkway Group PDD revising a portion of the Henry Road West section into the Palmetto Coast Industrial Park. The originally entitled PDD showed this entire 131.46-acre area of the PDD as “Mixed-Use 3” and allowed 316,070 square feet of commercial and industrial uses with an additional 300 dwelling units. There was no definition to the form or configuration of these elements at the plan level.

The current PDD proposal contains three industrial warehouse buildings totaling 514,500 square feet with 564 standard/accessible parking spaces and 60 tractor trailer parking spaces. Two driveways allow access to the site from Water Tower Road. Stormwater ponds and wetlands constitute the rear of the property, away from Water Tower Road. Architecturally, the proposed elevations conform to the standards of the initial PDD pattern book approved in January of 2010. A much-anticipated extension of the East Coast Greenway is also included in this amendment.

Staff Review

Planning & Development, Planning Division

The Planning Department is reviewing the proposed amendment and will provide comments at the workshop.

Planning & Development, Zoning Division

The Zoning Administrator is reviewing the proposed amendment and will provide comments at the workshop.

Public Works

The Director of Public Works is reviewing the proposed amendment and will provide comments at the workshop.

Public Safety

The Fire Marshal is reviewing the proposed amendment and will provide comments at the workshop.

According to § 23-4, *Amendments*, of the Zoning Ordinance, the advertisement requirement for Zoning Ordinance amendments is 15 days, and that advertisement notice has been met. The amendment is presented to the Planning Commission for a recommendation that will be forwarded to City Council at their next meeting scheduled for February 22, 2022.

Planning Commission Action

The Planning Commission may recommend approval, recommend approval with modifications and/or conditions, or recommend denial of the proposal as submitted.

Alternative Motions

- 1) I move that the Planning Commission recommend approval of the major planned development district amendment to the Parkway Group PDD creating the Palmetto Coast Industrial Park [Z-22-2] as submitted.

OR

- 2) I move that the Planning Commission recommend denial of the major planned development district amendment to the Parkway Group PDD creating the Palmetto Coast Industrial Park [Z-22-2] as submitted.

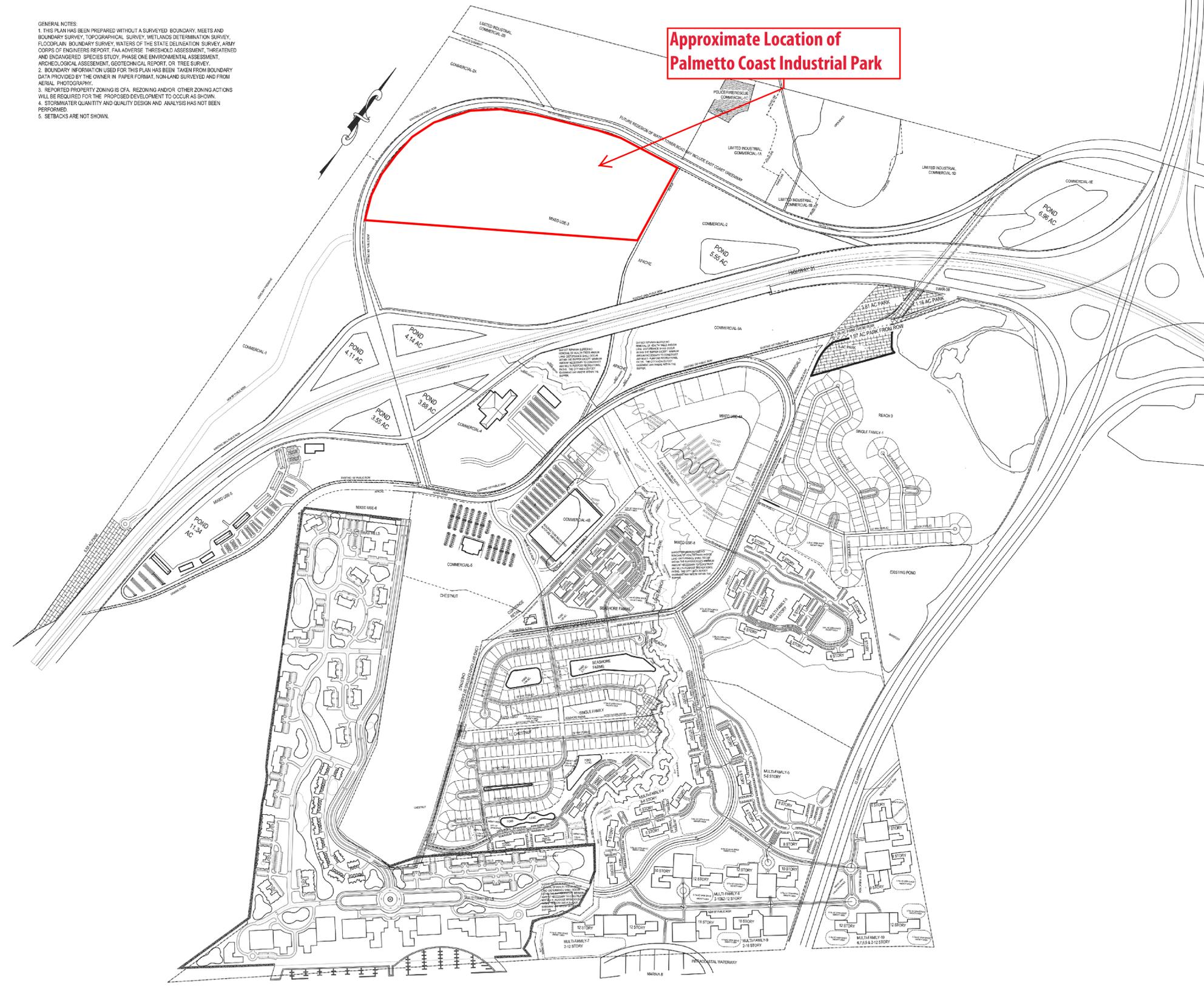
OR

- 3) I move (an alternate motion).

Initial PDD Master Plan

- GENERAL NOTES:
1. THIS PLAN HAS BEEN PREPARED WITHOUT A SURVEYED BOUNDARY, MEETS AND BOUNDARY SURVEY, TOPOGRAPHICAL SURVEY, WETLANDS DETERMINATION SURVEY, FLOODPLAIN BOUNDARY SURVEY, WATERS OF THE STATE DELINEATION SURVEY, ARMY CORPS OF ENGINEERS REPORT, FAA ADVERSE THRESHOLD ASSESSMENT, THREATENED AND ENDANGERED SPECIES STUDY, PHASE ONE ENVIRONMENTAL ASSESSMENT, ARCHIOLOGICAL ASSESSMENT, GEOTECHNICAL REPORT OR TREE SURVEY.
 2. BOUNDARY INFORMATION USED FOR THIS PLAN HAS BEEN TAKEN FROM BOUNDARY DATA PROVIDED BY THE OWNER IN PAPER FORMAT, NON-LAND SURVEYED AND FROM AERIAL PHOTOGRAPHY.
 3. REPORTED PROPERTY ZONING IS OFA. REZONING AND/OR OTHER ZONING ACTIONS WILL BE REQUIRED FOR THE PROPOSED DEVELOPMENT TO OCCUR AS SHOWN.
 4. STORMWATER QUANTITY AND QUALITY DESIGN AND ANALYSIS HAS NOT BEEN PERFORMED.
 5. SETBACKS ARE NOT SHOWN.

Approximate Location of Palmetto Coast Industrial Park



ILL CHESTNUT PROPOSED GROSS DENSITIES				
PROPOSED USE	APPROXIMATE GROSS AREAS (AC)	PROPOSED DWELLING UNITS	ESTIMATE GROSS DENSITY (DWELLING UNIT)	ESTIMATE PARKING SPACES
SINGLE FAMILY	± 37.61			
PUBLIC ROAD	± 1.17			
CREEK BUFFER	± .67	134 DU	3.6 DU/AC	258
MULTI-FAMILY	± 19.37			
PUBLIC ROAD	± 0.04	240 DU	10 DU/AC	480
CREEK BUFFER	± 3.23			
PARK	± 0.6	N/A	N/A	N/A
TOTAL	± 62.83	374 DU	6.3 DU/AC	748

PARKING SPACES BASED ON 2 SPACES PER UNIT

SEASHORE FARMS PROPOSED GROSS DENSITIES				
PROPOSED USE	APPROXIMATE GROSS AREAS (AC)	PROPOSED DWELLING UNITS	ESTIMATE GROSS DENSITY (DWELLING UNIT)	ESTIMATE PARKING SPACES
SINGLE FAMILY	± 39.65	118 DU	3.0 DU/AC	236
MULTI-FAMILY	± 22.27	384 DU	17.2 DU/AC	768
CONVENIENCE RETAIL/4,000 SQ FT	± 1.96	N/A	N/A	47
RIGHT-OF-WAY	± 6.05	N/A	N/A	N/A
CREEK BUFFER	± 3.00	N/A	N/A	N/A
PARK	± 0.90	N/A	N/A	N/A
TOTAL	± 74.89	502 DU	6.7 DU/AC	1051

PARKING SPACES BASED ON 2 SPACES PER DWELLING UNIT
PARKING SPACES BASED ON 1 SPACES PER 300SF RETAIL

REACH 9 PROPOSED GROSS DENSITIES				
PROPOSED USE	APPROXIMATE GROSS AREAS (AC)	PROPOSED DWELLING UNITS	ESTIMATE GROSS DENSITY (DWELLING UNIT)	ESTIMATE PARKING SPACES
SINGLE FAMILY-1	± 137.55	150 DU	1.1 DU/AC	300
MULTI-FAMILY-2 - 6 FLOORS 10 BLDG	± 67.18	700 DU	10.4 DU/AC	1,400
MULTI-FAMILY-4 - 6 FLOORS 8 BLDG	± 31.40	560 DU	17.8 DU/AC	1,120
MULTI-FAMILY-5 - 8 FLOORS 5 BLDG	± 37.46	490 DU	13.1 DU/AC	980
MULTI-FAMILY-6 - 2800 SQ FT BLDG	± 22.63	360 DU	15.9 DU/AC	720
MULTI-FAMILY-7 - 8 - 12 FLOORS	± 14.45	484 DU	33.5 DU/AC	968
MARINA-8	± 2.30	N/A	N/A	60
MULTI-FAMILY-9 - 2810 FLOORS	± 13.75	680 DU	49.3 DU/AC	1,360
MULTI-FAMILY-6 BLDG 6.7, 8, 9, 12 ST	± 33.45	1,026 DU	31.61 DU/AC	8,116
PUBLIC ROADS	± 17.17	N/A	N/A	N/A
CREEK BUFFER	± 6.91	N/A	N/A	N/A
PARK	± 3.0	N/A	N/A	N/A
TOTAL	± 388.05	5,000 DU	12.9 DU/AC	10,060

PARKING SPACES BASED ON 2 SPACES PER DWELLING UNIT
PLUS APPROX. 1.36 ACRES OF PARK FROM ABANDONED ROW OF LONG BAY ROAD

HENRY ROAD WEST PROPOSED GROSS DENSITIES				
PROPOSED USE	APPROXIMATE GROSS AREAS (AC)	PROPOSED GROSS FLOOR SPACE (SQ FT)	FLOOR AREA RATIO	ESTIMATE PARKING SPACES
PARK	± 5.5	970,571 SF	0.39 FAR	3,235
COMMERCIAL-1	± 17.64	251,571 SF	0.34 FAR	859
LIMITED INDUSTRIAL	± 43.89	648,571 SF	0.34 FAR	2,162
COMMERCIAL-2	± 131.45	1,111,300 SF	2.3 DU/AC	1,054
COMMERCIAL-3	± 39.94	35,947 SF	0.06 FAR	320
MIXED USE-4	± 42.51	422,200 SF	4.7 DU/AC	341
TOTAL	± 330.51	2,385,063 SF	0.16 FAR	7,951

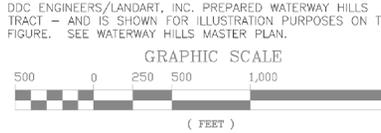
PARKING SPACES BASED ON 1 SPACES PER DWELLING UNIT
PLUS APPROX. 1.36 ACRES OF PARK FROM ABANDONED ROW OF LONG BAY ROAD

APACHE PROPOSED GROSS DENSITIES				
PROPOSED USE	APPROXIMATE GROSS AREAS (AC)	PROPOSED GROSS FLOOR SPACE (SQ FT)	FLOOR AREA RATIO	ESTIMATE PARKING SPACES
PARK	± 5.0			
LIMITED INDUSTRIAL	± 15.78	219,714 SF	0.32 FAR	732
COMMERCIAL-1A	± 3.44	47,857 SF	0.32 FAR	160
COMMERCIAL-1B	± 3.42	47,857 SF	0.32 FAR	160
POLICE/FIRE/RESCUE	± 28.09	63,651 SF	0.05 FAR	212
COMMERCIAL-1C	± 33.86	76,698 SF	0.05 FAR	256
COMMERCIAL-2	± 36.17	81,977 SF	0.05 FAR	279
COMMERCIAL-3A	± 35.86	89,977 SF	0.05 FAR	300
PARK-3B				
MIXED USE-4A	± 46.9	196,256 SF	0.05 FAR	354
COMMERCIAL-4B	± 32.22	270,000 SF	0.19 FAR	900
COMMERCIAL-5	± 24.99	56,674 SF	0.05 FAR	189
MIXED USE-6	± 7.61	17,233 SF	0.05 FAR	57
COMMERCIAL-7	± 2.68	6,047 SF	0.05 FAR	20
MIXED USE-8	± 13.41	118,909 SF	0.05 FAR	396
OPEN SPACE	± 28.55	930,000 SF	0.2 FAR	0
TOTAL	± 310.01	2,036,850 SF	0.15 FAR	4,009

PARKING SPACES BASED ON 1 SPACES PER 300SF RETAIL
PLUS APPROX. 1.97 ACRES OF PARK FROM ABANDONED ROW OF LONG BAY ROAD

WATERWAY HILLST PROPOSED GROSS DENSITIES			
PROPOSED USE	APPROXIMATE GROSS AREAS (AC)	PROPOSED DWELLING UNITS	COMMERCIAL SQUARE FEET
COMMERCIAL RETAIL TRACT	± 6.57 AC	N/A	±69,500 SQ FT
MULTI-FAMILY MF2	± 144.32 AC	2,500 DU	±50,000 SQ FT
MULTI-FAMILY MF3	± 29.06 AC	N/A	N/A
MULTI-FAMILY MF4	± 15.19 AC	N/A	N/A
MULTI-FAMILY MF5	± 14.43 AC	N/A	N/A
MULTI-FAMILY MF6	± 11.67 AC	N/A	N/A
MULTI-FAMILY MF7	± 17.11 AC	N/A	N/A
MULTI-FAMILY MF8	± 14.92 AC	N/A	N/A
MULTI-FAMILY MF9	± 42.04 AC	N/A	50,000 SQ FT
GRAND PARK1	± 2.15 AC	N/A	N/A
PUBLIC PARK	± 3.73 AC	N/A	N/A
WATERFRONT MARINA	± 4.80 AC	124 SLIPS	20,000 SQ FT
PUBLIC RIGHT OF WAY(100')	± 17.10 AC	N/A	N/A
UNASSIGNED OPEN SPACE	± 2.13 AC	N/A	N/A
TOTAL	± 180.8 AC	2,500 DU ±13.8DU/AC	±139,500 SQ FT

DDC ENGINEERS/LANDART, INC. PREPARED WATERWAY HILLS TRACT - AND IS SHOWN FOR ILLUSTRATION PURPOSES ON THIS FIGURE. SEE WATERWAY HILLS MASTER PLAN.



PARKWAY GROUP PLANNED UNIT DEVELOPMENT

MASTER SITE PLAN

DATE: 11-16-10	NO.
DESIGN BY: R.P.M.	REVISION
REVIEWED BY: FHP	
APPROVED BY: FHP	
JOB #: 12345	
SCALE: 1" = 600'	

The information represented on this site plan indicates general locations of proposed structures and drainage facilities, and existing wetland delineations. Further, this site plan includes compile base information from Civil Land Resources, DDC Engineers Inc. and Rpm Engineers proposed sand pit/pond locations. These locations are not to be construed as 'survey-accurate' nor can they be used for construction.

R.P.M. ENGINEERS
511 Robert M. Crisom Parkway
MYRTLE BEACH, SC 29577
TELEPHONE: (843)859-1490

LEXINGTON, SOUTH CAROLINA - MYRTLE BEACH, SOUTH CAROLINA
RICHMOND, VIRGINIA - CHARLESTON, WEST VIRGINIA - COLUMBUS, OHIO

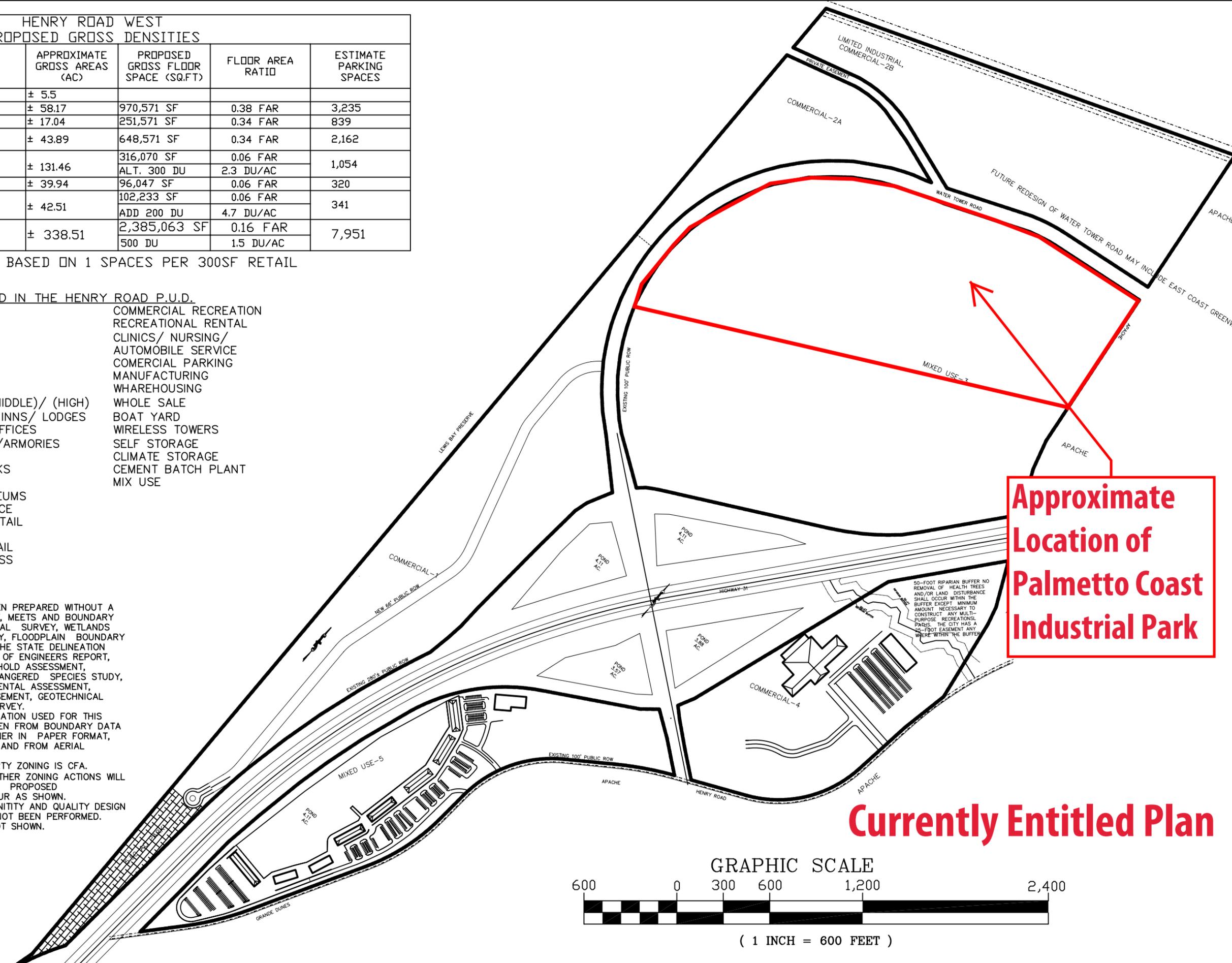
SHEET 1

HENRY ROAD WEST PROPOSED GROSS DENSITIES				
PROPOSED USE	APPROXIMATE GROSS AREAS (AC)	PROPOSED GROSS FLOOR SPACE (SQ.FT)	FLOOR AREA RATIO	ESTIMATE PARKING SPACES
PARK	± 5.5			
COMMERCIAL-1	± 58.17	970,571 SF	0.38 FAR	3,235
COMMERCIAL-2A	± 17.04	251,571 SF	0.34 FAR	839
LIMITED INDUSTRIAL, COMMERCIAL-2B	± 43.89	648,571 SF	0.34 FAR	2,162
MIXED USE-3	± 131.46	316,070 SF ALT. 300 DU	0.06 FAR 2.3 DU/AC	1,054
COMMERCIAL-4	± 39.94	96,047 SF	0.06 FAR	320
MIXED USE-5	± 42.51	102,233 SF ADD 200 DU	0.06 FAR 4.7 DU/AC	341
TOTAL	± 338.51	2,385,063 SF 500 DU	0.16 FAR 1.5 DU/AC	7,951

PARKING SPACES BASED ON 1 SPACES PER 300SF RETAIL

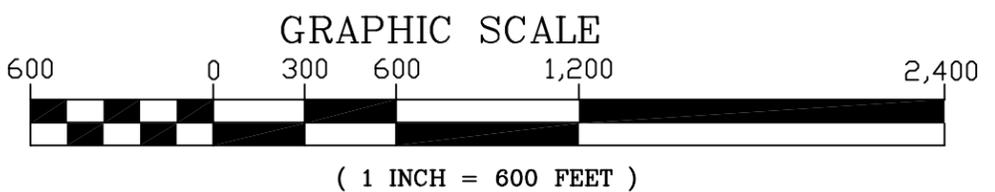
- USES PERMITTED IN THE HENRY ROAD P.U.D.
- | | |
|-------------------------------|-----------------------|
| SINGLE FAMILY | COMMERCIAL RECREATION |
| SEMI-DETACHED | RECREATIONAL RENTAL |
| DUPLEX | CLINICS/ NURSING/ |
| CONVALESCING | AUTOMOBILE SERVICE |
| MULTIPLEX | COMERCIAL PARKING |
| TOWNHOUSES | MANUFACTURING |
| MULTI-FAMILY | WHAREHOUSING |
| MULTI-FAMILY (MIDDLE)/ (HIGH) | WHOLE SALE |
| HOTEL/ MOTEL/ INNS/ LODGES | BOAT YARD |
| PROFESSIONAL OFFICES | WIRELESS TOWERS |
| CLUBS/ LODGES/ARMORIES | SELF STORAGE |
| CHILD CARE | CLIMATE STORAGE |
| COMMUNITY PARKS | CEMENT BATCH PLANT |
| PUBLIC UTILITIES | MIX USE |
| LIBRARIES/ MUSEUMS | |
| PERSONAL SERVICE | |
| CONVENIENCE RETAIL | |
| PRIMARY RETAIL | |
| SECONDARY RETAIL | |
| GENERAL BUSINESS | |
| FUNERAL HOMES | |

- GENERAL NOTES:
1. THIS PLAN HAS BEEN PREPARED WITHOUT A SURVEYED BOUNDARY, MEETS AND BOUNDARY SURVEY, TOPOGRAPHICAL SURVEY, WETLANDS DETERMINATION SURVEY, FLOODPLAIN BOUNDARY SURVEY, WATERS OF THE STATE DELINEATION SURVEY, ARMY CORPS OF ENGINEERS REPORT, FAA ADVERSE THRESHOLD ASSESSMENT, THREATENED AND ENDANGERED SPECIES STUDY, PHASE ONE ENVIRONMENTAL ASSESSMENT, ARCHEOLOGICAL ASSESEMENT, GEOTECHNICAL REPORT, OR TREE SURVEY.
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 3. REPORTED PROPERTY ZONING IS CFA. REZONING AND/OR OTHER ZONING ACTIONS WILL BE REQUIRED FOR THE PROPOSED DEVELOPMENT TO OCCUR AS SHOWN.
 4. STORMWATER QUANTITY AND QUALITY DESIGN AND ANALYSIS HAS NOT BEEN PERFORMED.
 5. SETBACKS ARE NOT SHOWN.



**Approximate
Location of
Palmetto Coast
Industrial Park**

Currently Entitled Plan



NO.	DESCRIPTION	DATE	REVISIONS	
			BY	DATE
1	DENSITY/SF AMMUNITY	7/7/08	RM	
2	CITY COMMENTS	8/22/08	RM	
3	CITY COMMENTS	10/1/08	RM	

CIVIL & LAND RESOURCES, INC. P.O. BOX 70657 MYRTLE BEACH, SC 29572 P (843) 893-3640 F (843) 893-3641	SHEET TITLE MASTER SITE PLAN	SCALE: AS SHOWN	SEPTEMBER 17, 2007
PROJECT HENRY ROAD WEST P.U.D. PREPARED FOR HENRY ROAD WEST LLC.	SOUTH CAROLINA		
REF. PB:			
REF. DB:			
TMS: 155-00-01-053			
DRAWN BY:			
ENGR:			
REF. DWG:			
			2-A



A written project description of

PALMETTO COAST INDUSTRIAL PARK

**COMMERCIAL/LIGHT INDUSTRIAL/DISTRIBUTION
COMPLEX**

**A PORTION OF THE PARKWAY GROUP
PLANNED DEVELOPMENT
DISTRICT (P.D.D.)**

March 2, 2022

PDD DOCUMENT TABLE OF CONTENTS

- Section 1: PURPOSE AND INTENT STATEMENT
- Section 2: LEGAL DESCRIPTION
- Section 3: PROJECT DEVELOPER AND TITLE
- Section 4: DEVELOPMENT DESCRIPTION
- Section 5: GENERAL DEVELOPMENT STANDARDS FOR THIS PORTION OF THE PDD
- Section 6: MAINTENANCE AND CONTROL
- Section 7: CONSTRUCTION SCHEDULE
- Section 8: OFF-SITE AND STREETScape IMPROVEMENTS
- Section 9: AMENDMENTS AND ENFORCEMENT

Exhibit “A”: Boundary Survey of the Property

Exhibit “B”: Location Map

PDD Documentation Provided in Separate Exhibit Supplement.

- (i) Conceptual Site Plan
- (ii) Schematic Utility Plan
- (iii) Schematic Drainage Plan
- (iv) Circulation and Sight Line Plans (Maneuver Exhibits)
- (v) Conceptual Landscape Plan (Sight Triangle Exhibits)
- (vi) Building Conceptual Elevations
- (vii) Building Materials Call Out Sheet
- (viii) Landscape Materials List
- (ix) Conceptual Multi-Use Path Routing
- (x) Traffic Memorandum

SECTION 1: PURPOSE AND INTENT STATEMENT

The purpose of a Planned Development District (PDD) is to encourage flexibility in the development of land in order to promote its most appropriate use; to improve the design, character and quality of new development; to facilitate the provision of livable streets and utilities, to preserve the natural and scenic features of open areas, and to provide a flexible zoning management tool that meets the needs of integrated mixed-use developments in creative arrangements [*City of North Myrtle Beach Zoning Ordinance §23-29 (Amended October 20, 2009)*]

The Parkway Group P.U.D., now known as the “Parkway Group PDD” (the “**PDD**”) was adopted in October of 2008, and encompassed several large tracts of land, totaling approximately 1,363 acres, in the aggregate. Together these parcels combine frontage along the Atlantic Intracoastal Waterway and S.C. Highway 22, and are bisected by S.C. Highway 31, forming the Southernmost portion of the City of North Myrtle Beach. The original tracts have been subdivided and in some instances, conveyed to third parties, but remain subject to both the PDD, as amended, and that certain Master Development Agreement, by and among the City of North Myrtle Beach and the original owners of each of the parcels in the Parkway Group PDD, which Master Development Agreement is recorded in Deed Book 3382 at Page 3357, and First Amendment to Master Development Agreement recorded in Deed Book 4298 at Page 2823, in the public records of Horry County, South Carolina (collectively the “**Development Agreement**”), as amended.

Pursuant to the terms of the Development Agreement, property owners within the Parkway Group PDD, their successors and assigns, have agreed to provide certain reimbursements and public benefits to the City, which are set forth in the Development Agreement. Future amendments to the Parkway Group PDD and the Development Agreement may require additional or alternative public benefits, to be determined by the City and the applicant for such amendment, at the time of each amendment.

This particular portion of the Parkway Group PDD is a portion of the property owned by Henry Road West, LLC, an original party to the Parkway Group PDD and the corresponding Development Agreement. The site consists of approximately 69.31 acres, located west of S.C. Highway 31. The property is a portion of Horry County TMS/PIN No.: 155-00-01-053/389-00-00-0002.

It is the specific intent of this PDD Amendment document (“**PDD Amendment**”) to create and maintain an industrial park, focused on commercial, light industrial and distribution businesses, positioned so as to take advantage of the proximity of transportation corridors created by S. C. Highway 22 and S.C. Highway 31, while maintaining separation from the surrounding residential communities, accommodating small, medium and larger businesses (the “**Project**”).

All development within this Project will be regulated by the terms of the master site plan, approved ordinance, the City of North Myrtle Beach zoning ordinance, and other applicable codes and ordinances of the City of North Myrtle Beach. *The definitions applicable throughout this Document are set forth in Section 23-2 of the City of North Myrtle Beach Zoning Ordinance.*

SECTION 2: LEGAL DESCRIPTION

Those certain pieces, parcels or tract of land lying and situate in the City of North Myrtle Beach, Horry County, South Carolina, and being more particularly shown and depicted in **Exhibit “A”** attached hereto (hereafter the “**Property**”).

SECTION 3: PROJECT DEVELOPER AND TITLE

The Project title of this development is “**Palmetto Coast Industrial Park**”. The developer is Edgewater Industrial, LLC, and its related affiliates. The term “**Developer**” throughout this Document will include all subsidiaries and affiliates of Edgewater Industrial, LLC, and the term will also include any of its successors in interest or successors in title and/or assigns by virtue of assignment or other instrument.

SECTION 4: SITE PLAN

A separate Exhibit Supplement to this Document, submitted together with this Document, contains the PDD Documentation, including the Master Site Plan depicting the parcel, which has been surveyed, but not yet subdivided, and the improvements to be made for development of the Project (“**Site Plan**”). The Site Plan shall be binding on the Property and any major departure shall be authorized by amendment only. The controlling Site Plan shall negate any contradiction between the Site Plan and any other plan, and this PDD Amendment. This Project includes Two (2) parcels initially comprising the Project, with a Third separate parcel, which may comprise an expansion of the Project, but only upon approval of a revised Site Plan by the City of North Myrtle Beach incorporating the Third parcel. The Site Plan reflects the initial Building on Parcel 1, and Two (2) separate Buildings on Parcel 2.

SECTION 5: DEVELOPMENT DESCRIPTION

The Palmetto Coast Industrial Park is planned to include Three (3) separate buildings, Parcel 1 being designated as Phase 1, and consisting of a single building of approximately 157,500 square feet, with the front façade of this building, together with the required employee/customer paved parking spaces located on Water Tower Road, while circulation, loading facilities and trailer parking are located in the rear of this building. Parcel 2, being designated as Phase 2, and consisting of Two (2) separate buildings, each of approximately 178,500 square feet, with the front façade of Building 2, together with the required employee/customer paved parking spaces located on Water Tower Road. Building 3, together with the required employee/customer paved parking spaces located on the boundary of the Property opposite Water Tower Road, with the circulation, loading facilities and trailer parking are located between Building 2 and Building 3, in a service court, with the view of this service court shielded from view of the public roadways, together with other needs which would typically be found in a light industrial or distribution environment, including, but not limited to on-site commercial equipment storage. Proposed parking is a blend of the City requirement for both the light industrial district and distribution, with the Project providing One (1) parking space for each 912 square feet of interior occupancy area, which is consistent with design parking requirements for similar facilities operated by the Developer which accommodate operational demands as well as employees and customers.

In addition, development of the Project will address the requirements for “Firewise Communities” as to materials and conditions which are appropriate for the avoidance of fire hazards, which will include the avoidance of pine straw as a landscaping material, the use of fire resistant roofing materials and exterior wall materials, maintain exterior building surfaces to avoid vegetation or other “fuels”, incorporating landscaping materials that reduce the flammability of the site, and maintain adequate separations between the building and the property boundary, including the use of storm water retention as a fire buffer.

All on-site wetland which remain following development shall be surrounded with a minimum 20-foot wide water quality buffer, within which on building construction shall occur. These buffer areas and wetlands shall be maintained in common ownership, remaining natural except to the extent vegetation is mulched to maintain required sight triangle distances along Water Tower Road.

The arterial roadway for the portion of the Parkway Group PDD is by way of Water Tower Road, providing access to and from South Carolina Highway 31 to the Project. A central private roadway provides access to the Project, and, upon completion, circulation is provided between Parcel 1 and Parcel 2 among the Three (3) buildings with turn radiuses appropriate for large trucks. The building elevations, materials and colors are functional and consistent with light industrial and distribution uses in the Developer’s other similar projects, which are generally located in metropolitan areas larger than the Grand Strand.

Table 1 below identifies the dimensional standards for the Project.

**TABLE 1
PROPOSED DIMENSIONAL STANDARDS CHART**

Permitted Uses	Min. Site Area Acres	Setbacks (Feet)			Max. Height**	Impervious Surface	Separation of Structures****
		Front	Side	Rear			
*See Below	18	25	15	15	50	60%	20
Auxiliary Buildings	2***	10	10	10	36	60%	20

*Approved Uses include Professional Offices, Clubs/Lodges/Armories, Public Utilities, Libraries/Museums, Professional Service, Convenience Retail, Primary Retail, Secondary Retail, General Business, Funeral Homes, Commercial Recreation, Hospitals/Clinics/Nursing, Automobile Service, Commercial Parking, Manufacturing, Warehousing, Distribution, Wholesale, Boat Yard, Wireless Towers, Self Storage, and Climate Storage and related offices ancillary to the primary use, fueling of trucks and other equipment, washing and repair work on vehicles, trailers and equipment used in the operation of the primary business, both inside and outside the Building.

**Maximum Height shall be measured from the first occupied floor elevation to the midpoint of the roof on the highest floor. Maximum height of parapets, stair and elevator hoist way extensions, and other rooftop architectural features shall be measured from the first occupied floor elevation, and shall not be included in the calculation of Maximum Height.

***Auxiliary Buildings may share the same site area with the primary Building, provided the minimum combined site area is 18 Acres.

****Auxiliary Buildings shall maintain a minimum 20' separation from the primary Building. Separation figures are minimums and are measured from wall to wall.

SECTION 6: GENERAL DEVELOPMENT STANDARDS THROUGHOUT THIS PORTION OF THE P.D.D.

- A. Densities. The overall density for the Project will not exceed 530,000 square feet of buildings.
- B. Permitted Uses.

Permitted Uses are as follows:

- (1) Primary Building: Professional Offices, Clubs/Lodges/Armories, Public Utilities, Libraries/Museums, Professional Service, Convenience Retail, Primary Retail, Secondary Retail, General Business, Funeral Homes, Commercial Recreation, Hospitals/Clinics/Nursing, Automobile Service, Commercial Parking, Manufacturing, Warehousing, Distribution, Wholesale, Boat Yard, Wireless Towers, Self Storage, and Climate Storage and related offices ancillary to the primary use, fueling of trucks and other equipment, washing and repair work on vehicles, trailers and equipment used in the operation of the primary business, both inside and outside the Building, provided that such uses outside the Building will be adequately screened by fencing or landscaping from street views.
- (2) Auxiliary Buildings. Auxiliary Buildings sharing the same site with the primary Building may be used for the same purposes.
- (3) Amenity and Recreational Areas. Commons areas, picnic shelters, walking paths, and open spaces.
- (4) Loading Docks and Transfer Facilities. Loading docks, transfer facilities, bridges and elevated walkways.
- (5) Change of One Permitted Use to Another Permitted Use. Should a designated use change after the final construction of a building, such designated use may be replaced with another permitted use. Notwithstanding such change of use, any exterior construction modifications of the building must be completed, as necessary, to bring it into compliance with the current development standards of this Document and the building code.

SECTION 7: MAINTENANCE AND CONTROL

It will be the responsibility of the Developer to maintain or provide for the maintenance of the property within the PDD, including any private roadways, pathways and driveways. The Developer's maintenance responsibilities and restrictions will cover the private rights-of-way, driveways, landscape areas, trees, parking areas, pathways, walkways, open space, common areas,

wetland buffers, wetlands, buildings and other features of the development as appropriate under this Document, applicable City Zoning Regulations and Subdivision Regulations.

Wetlands to be maintained in order to preserve the required sight triangle locations along Water Tower Road shall be subjected to a maintenance agreement by and between the owners of the Project and the owners of any other portion of the PDD which includes wetlands that would obscure sight triangles for the Project if not maintained.

A perimeter buffer of not less than Five (5) feet shall be maintained for the Project, provided, however that such buffer may include any jurisdictional wetlands, storm drainage basins, lakes or ponds located within the Project. To the extent the Project includes the subdivision of one or more buildings as a separate parcel, no internal perimeter buffer shall be required. For landscaped areas within the Project, not less than One (1) tree per Twenty Five (25) linear feet of landscaped area, and One (1) shrub per Ten (10) linear feet of landscaped area shall be installed, with a minimum of 15/100 inch caliper for each linear foot of perimeter landscaped area,

SECTION 8: CONSTRUCTION SCHEDULE

Construction will begin following receipt of permits from the City of North Myrtle Beach and from other regulatory bodies. The nature of this Project, together with the current economic conditions, prevents the Developer from providing exact dates for commencement of future phases or exact completion dates.

SECTION 9: OFF-SITE AND STREETScape IMPROVEMENTS

Certain vehicular traffic improvements outside of the boundaries of the Project will be required, including changes to the divided median of Water Tower Road to control the points of ingress to and egress from the boundary of the Project and the Water Tower Road arterial roadway, and the installation of acceleration and deceleration lanes at the location of each of the Two (2) access drives along Water Tower Road. Current conditions for Water Tower Road include a sloped drainage ditch and slope on each shoulder, at the time when the Water Tower Road profile is revised to include curb and gutter with underground storm drainage rather than open ditch drainage, the Project will install street trees along the boundary of the Project facing Water Tower Road, in accordance with the City Street Tree standards.

The PDD originally included the routing of a multi-purpose path to be incorporated as a portion of the East Coast Greenway (which path would create direct conflict between pedestrian and bicycle traffic and the heavy truck traffic anticipated for the Amended Site Plan Parcel), which the owner of the Project does not believe is compatible with the proposed use of the Amended Site Plan Parcel, and therefore has been relocated to a different area of the PDD. As a portion of the consideration for the relocation of the East Coast Greenway, the owner of the Project, will contribute to the City, an amount equal to Fifty Thousand and No/100 (\$50,000.00) Dollars, on or before the issuance of the building permit for the first building within the Project for improvement, by the City for the development of a portion of the East Coast Greenway outside the boundary of the Project.

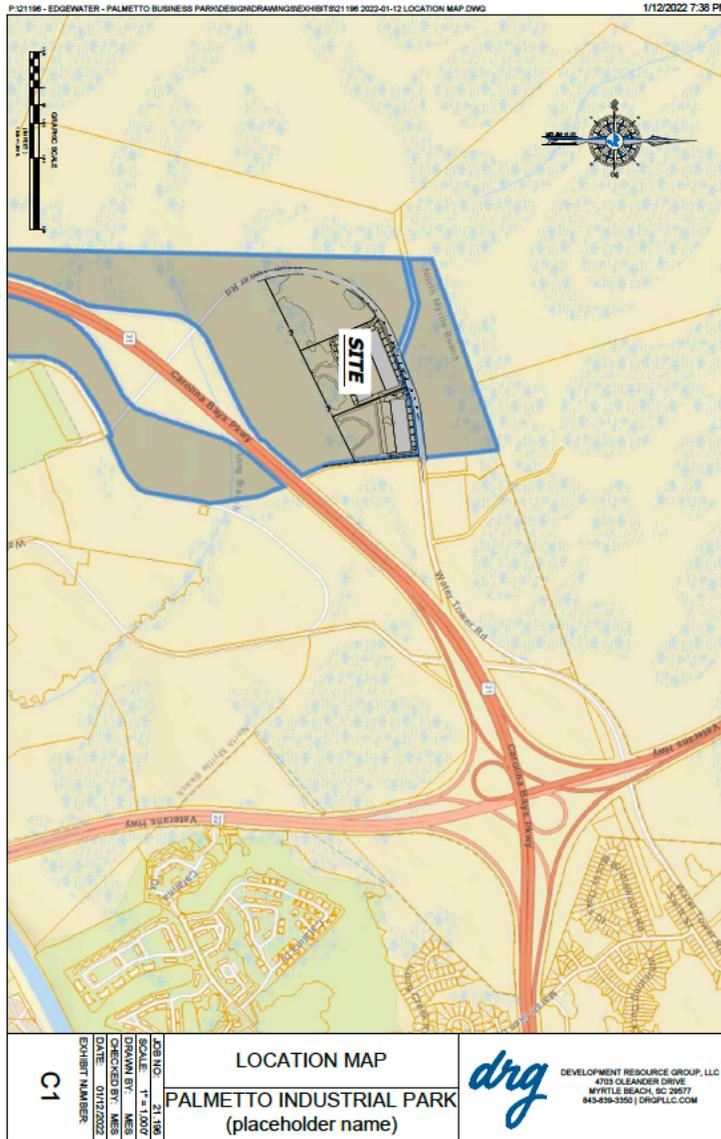
SECTION 10: AMENDMENTS AND ENFORCEMENT

The Developer shall record the approved ordinance in the public records of Horry County and return two (2) time-stamped copies to the City of North Myrtle Beach.

Expansions and further amendments to this PDD shall not be permitted without review by the Zoning Administrator and approval as prescribed by the City of North Myrtle Beach Zoning Regulations.

EXHIBIT "B"

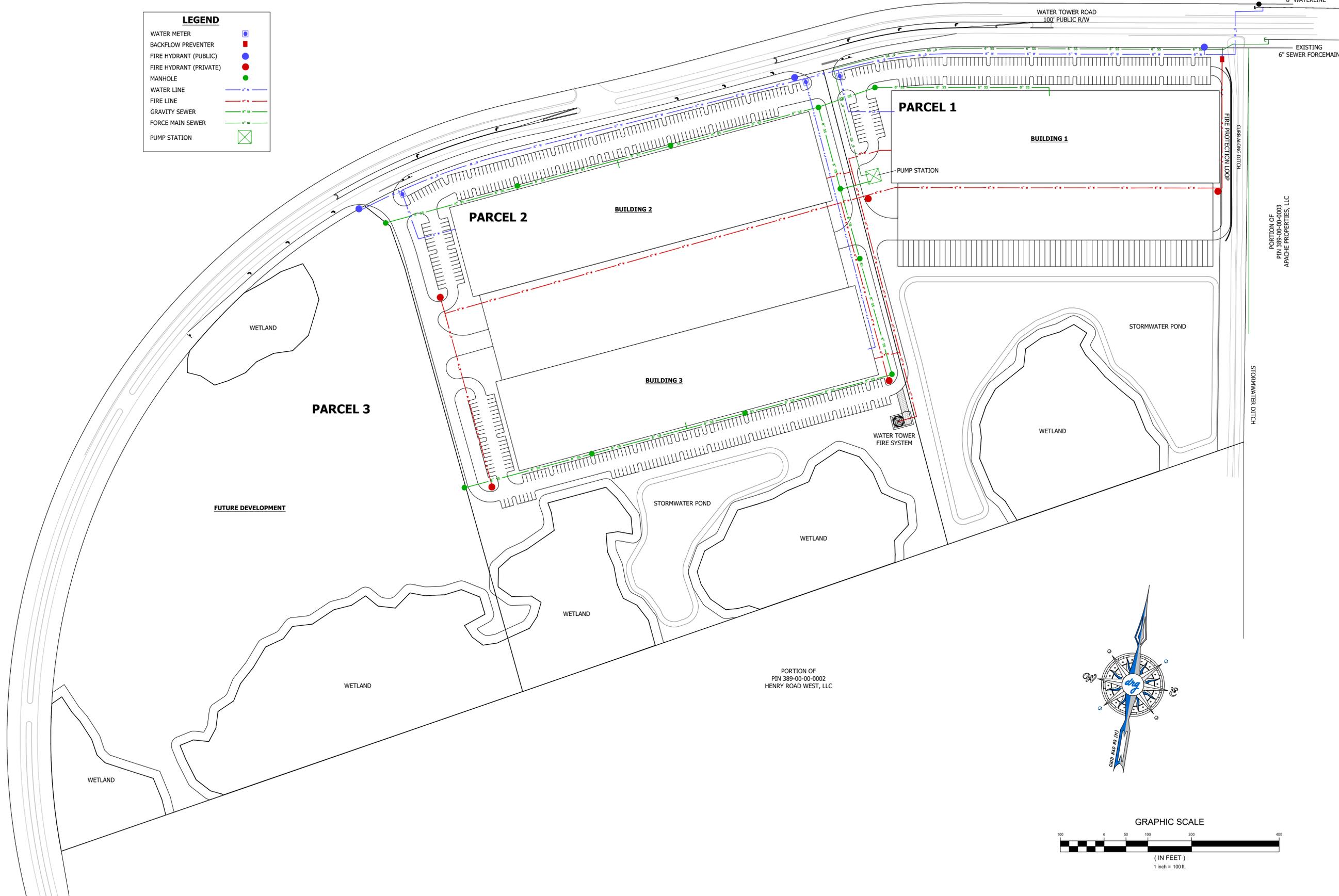
Location Map



PORTION OF
PIN 389-00-00-0002
HENRY ROAD WEST, LLC

LEGEND

WATER METER	⊕
BACKFLOW PREVENTER	■
FIRE HYDRANT (PUBLIC)	●
FIRE HYDRANT (PRIVATE)	●
MANHOLE	●
WATER LINE	—
FIRE LINE	—
GRAVITY SEWER	—
FORCE MAIN SEWER	—
PUMP STATION	⊠



DEVELOPMENT RESOURCE GROUP, LLC
4703 OLEANDER DRIVE
MYRTLE BEACH, SC 29577
843-839-3350 | DRGPLLC.COM

SCHEMATIC UTILITY PLAN
PALMETTO INDUSTRIAL PARK
(placeholder name)

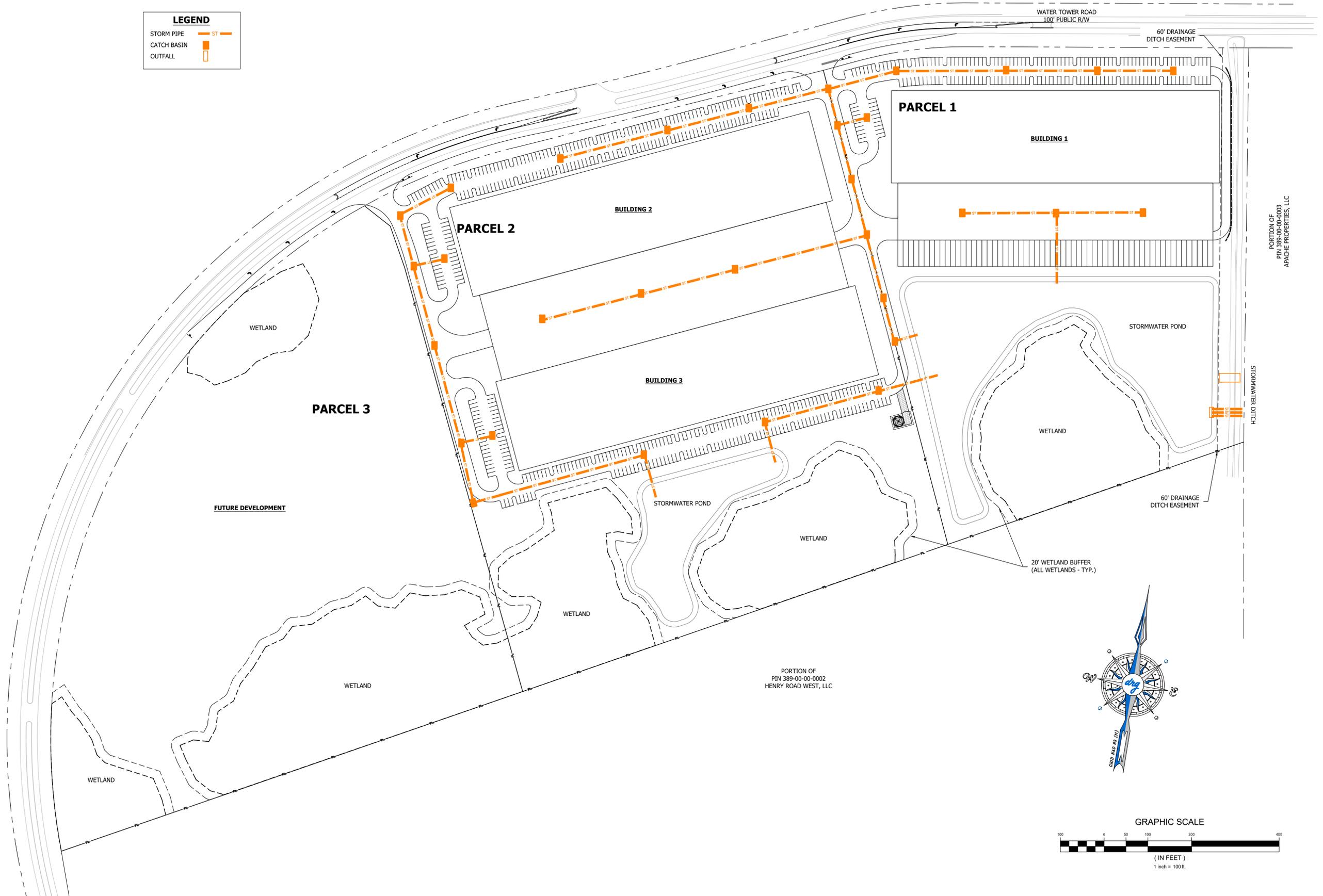
JOB NO:	21.196
SCALE:	1" = 100'
DRAWN BY:	PTH
CHECKED BY:	MES
DATE:	02/24/2022
EXHIBIT NUMBER:	

C2

PORTION OF
PIN 389-00-00-0002
HENRY ROAD WEST, LLC

LEGEND

- STORM PIPE
- CATCH BASIN
- OUTFALL



DEVELOPMENT RESOURCE GROUP, LLC
4703 OLEANDER DRIVE
MYRTLE BEACH, SC 29577
843-839-3350 | DRGPLLC.COM

SCHEMATIC DRAINAGE PLAN
PALMETTO INDUSTRIAL PARK
(placeholder name)

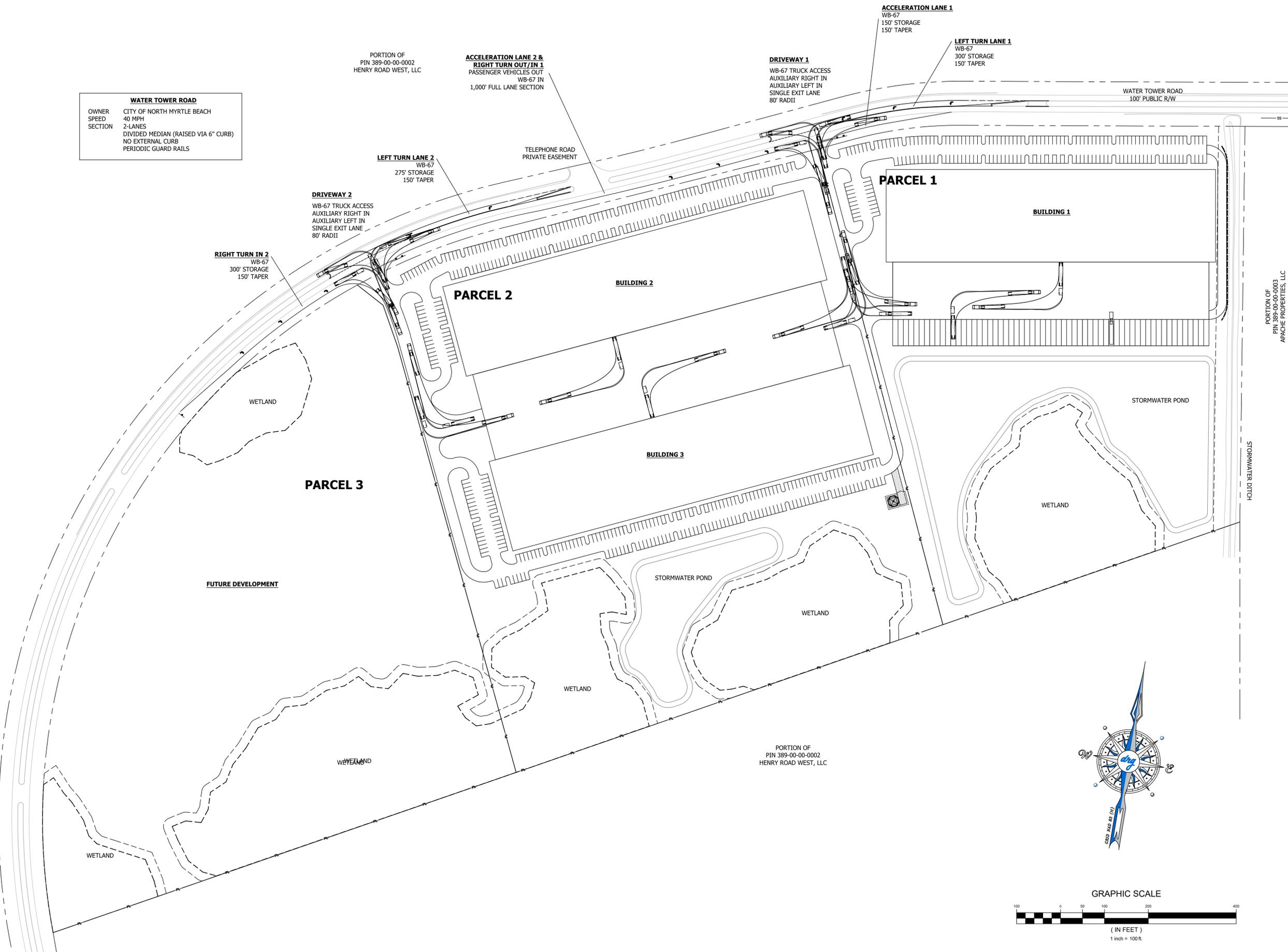
JOB NO:	21.196
SCALE:	1" = 100'
DRAWN BY:	PTH
CHECKED BY:	MES
DATE:	02/24/2022
EXHIBIT NUMBER:	

C3



DEVELOPMENT RESOURCE GROUP, LLC
4703 OLEANDER DRIVE
MYRTLE BEACH, SC 29577
843-839-3350 | DRGPLLC.COM

WATER TOWER ROAD
OWNER: CITY OF NORTH MYRTLE BEACH
SPEED: 40 MPH
SECTION: 2-LANES
DIVIDED MEDIAN (RAISED VIA 6" CURB)
NO EXTERNAL CURB
PERIODIC GUARD RAILS

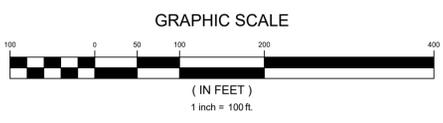


PORTION OF
PIN 389-00-00-0003
APACHE PROPERTIES, LLC

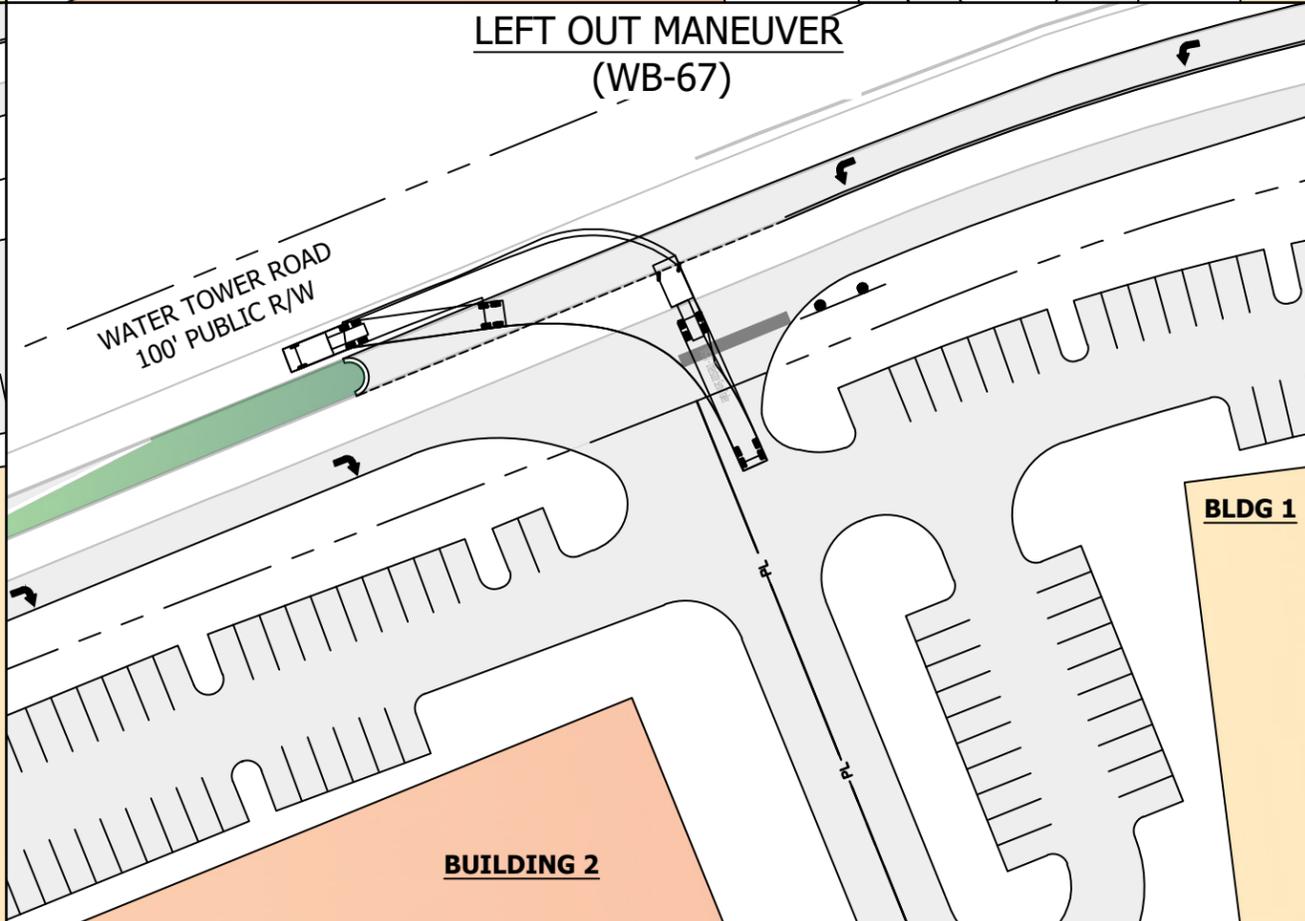
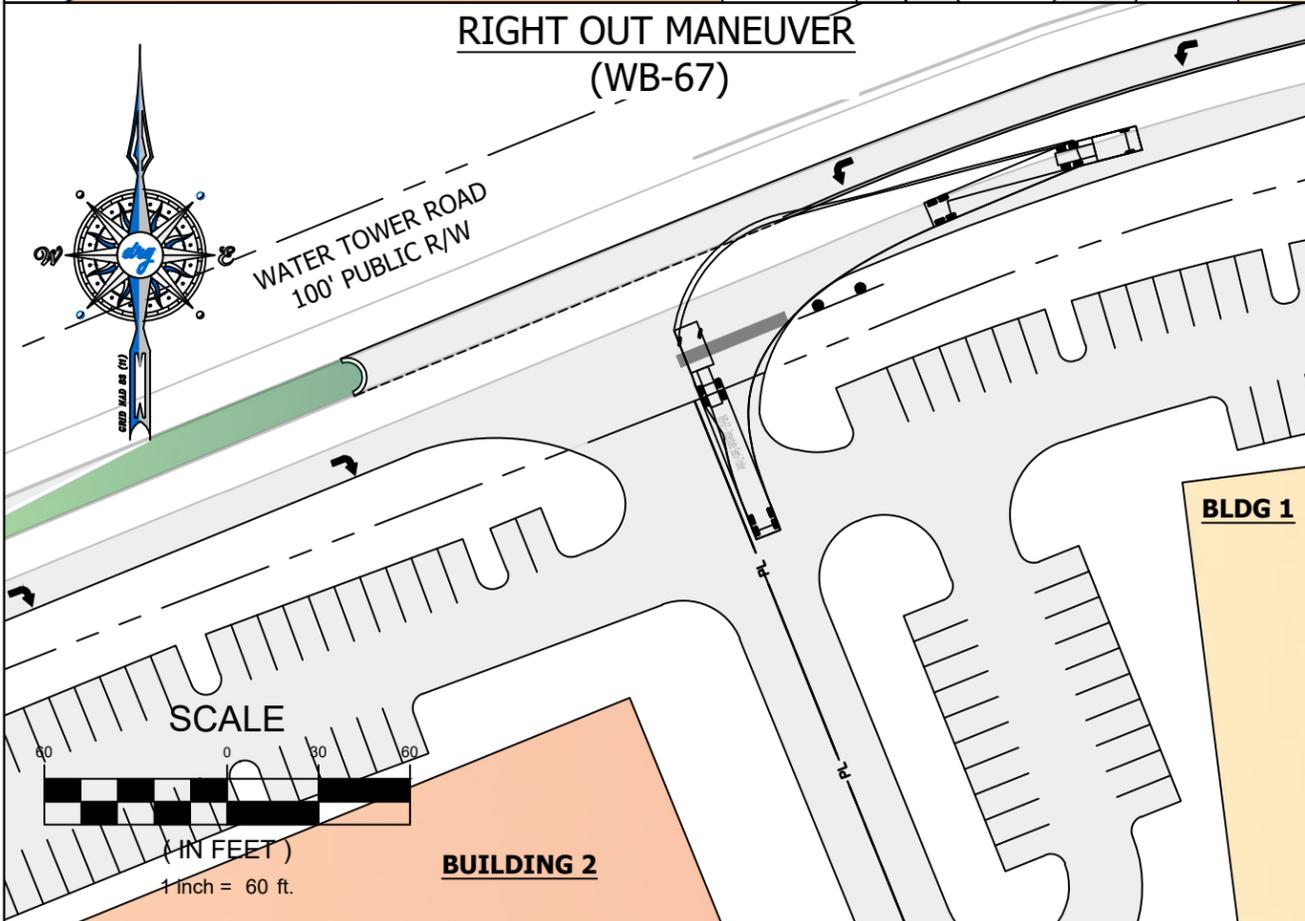
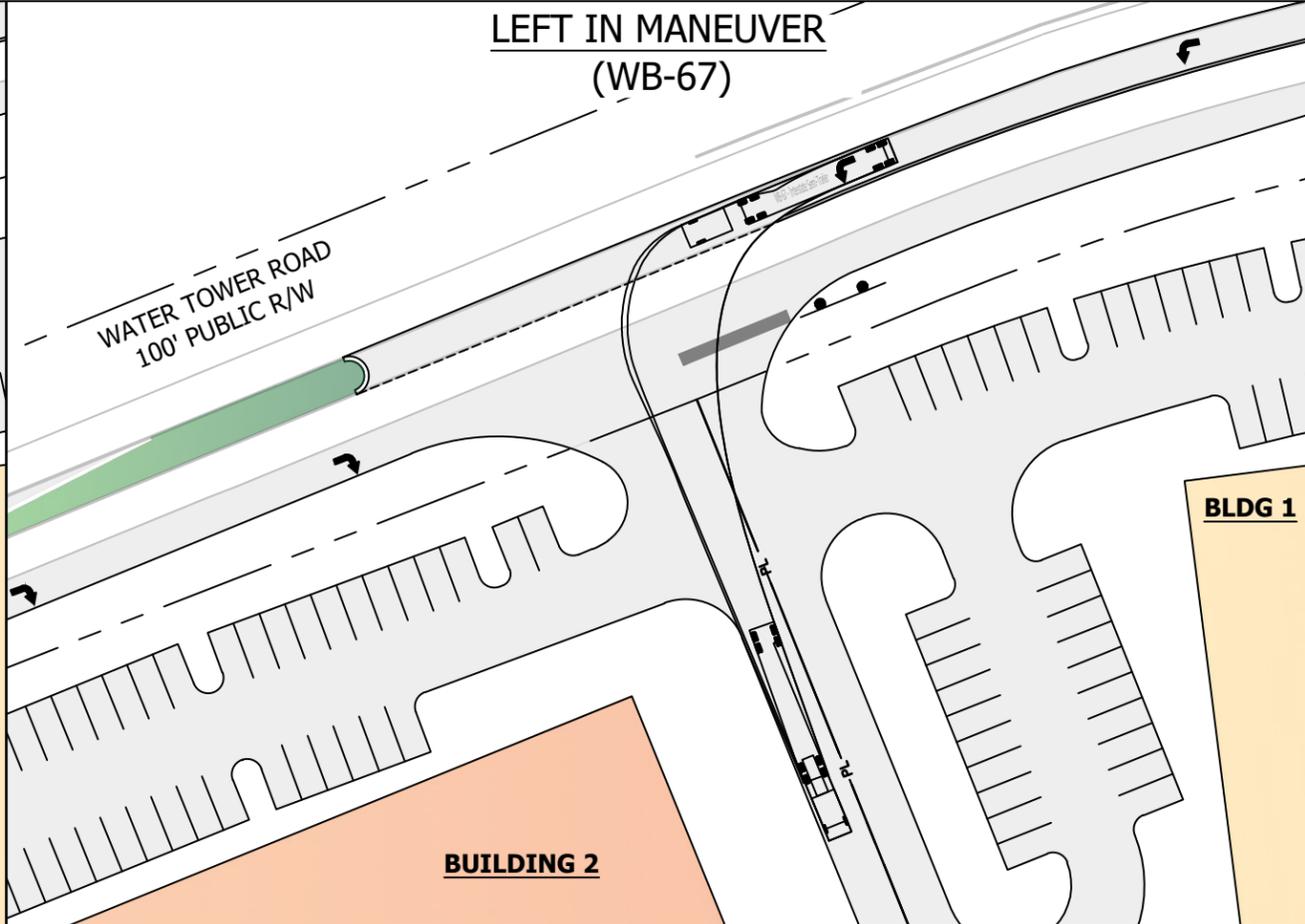
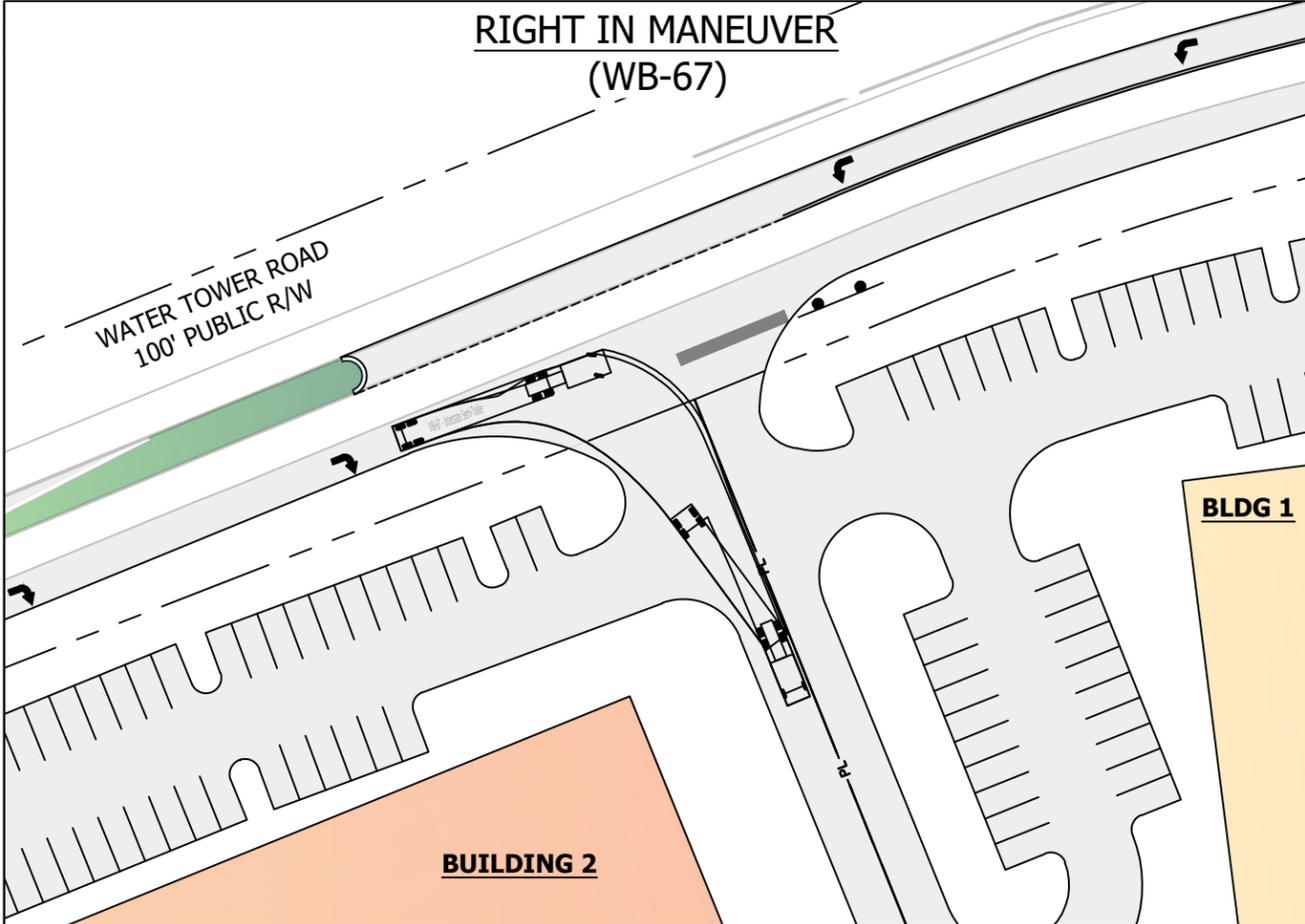
SCHEMATIC CIRCULATION PLAN

PALMETTO INDUSTRIAL PARK
(placeholder name)

JOB NO:	21.196
SCALE:	1" = 100'
DRAWN BY:	PTH
CHECKED BY:	MES
DATE:	02/24/2022
EXHIBIT NUMBER:	



C4



DEVELOPMENT RESOURCE GROUP, LLC
4703 OLEANDER DRIVE
MYRTLE BEACH, SC 29577
843-839-3350 | DRGPLLC.COM



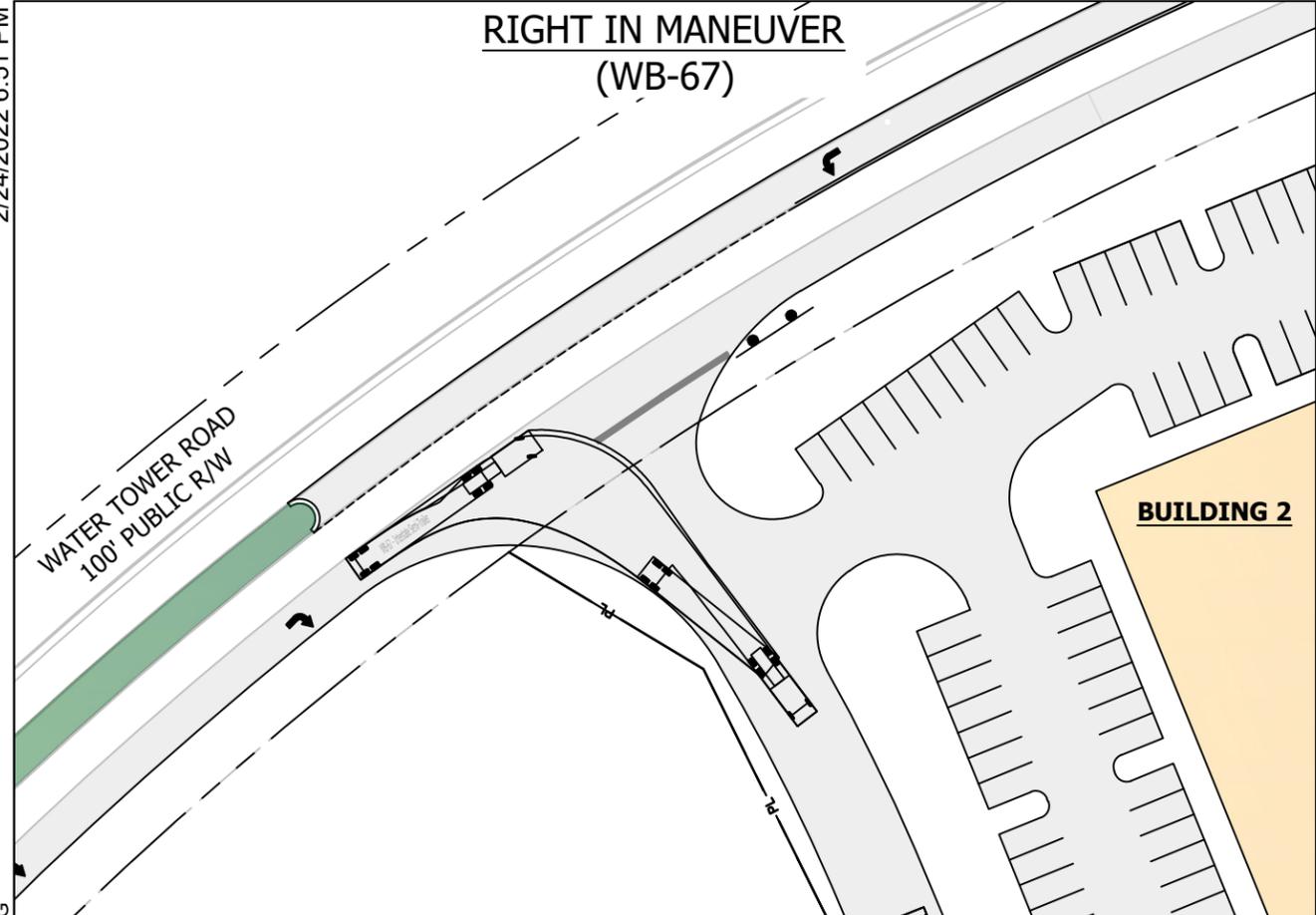
**WB-67 MANEUVER EXHIBIT
(DRIVEWAY 1)**

PALMETTO INDUSTRIAL PARK
(placeholder name)

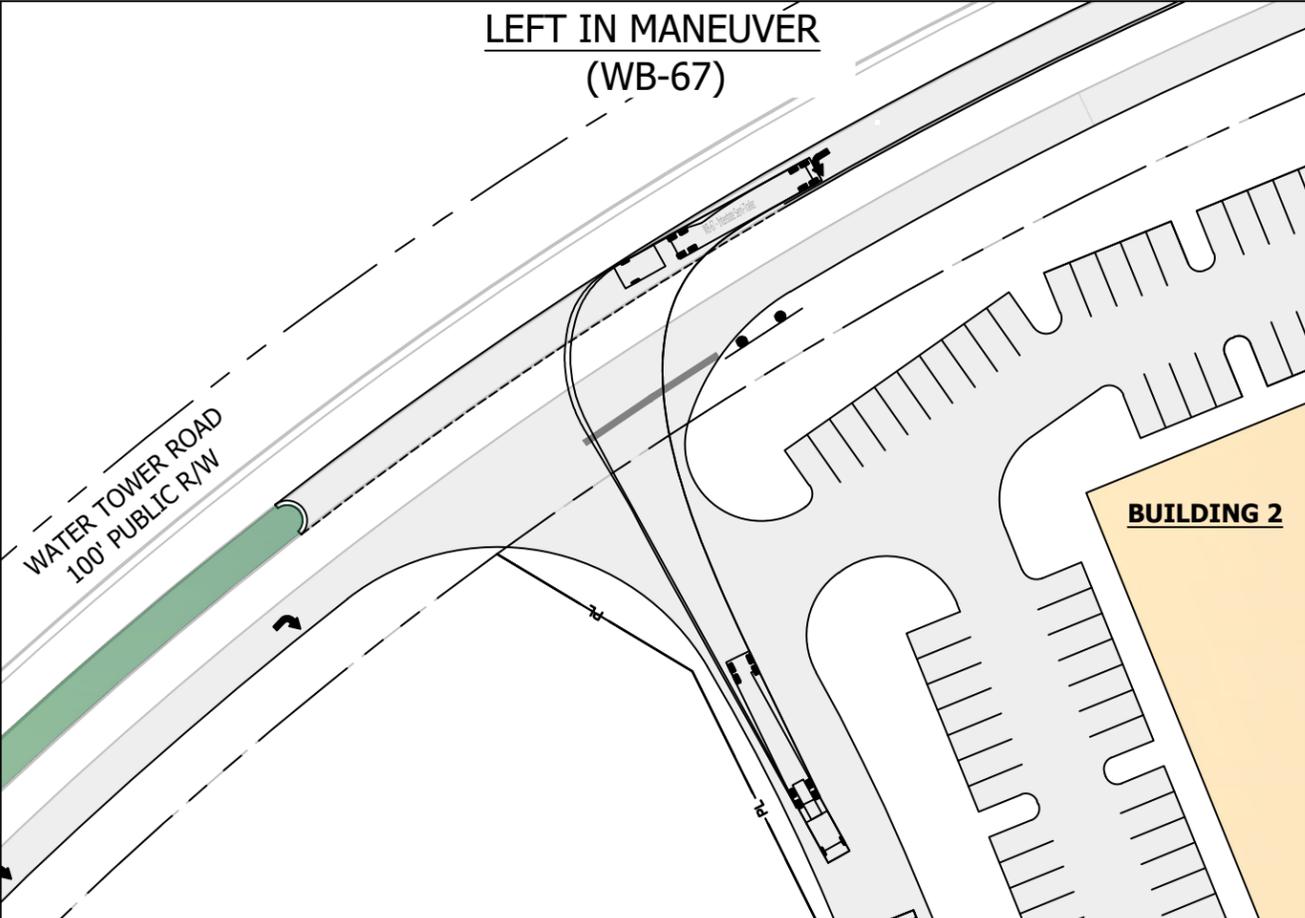
JOB NO:	21.196
SCALE:	1" = 60'
DRAWN BY:	MES
CHECKED BY:	MES
DATE:	02/24/2022
EXHIBIT NUMBER:	

M-1

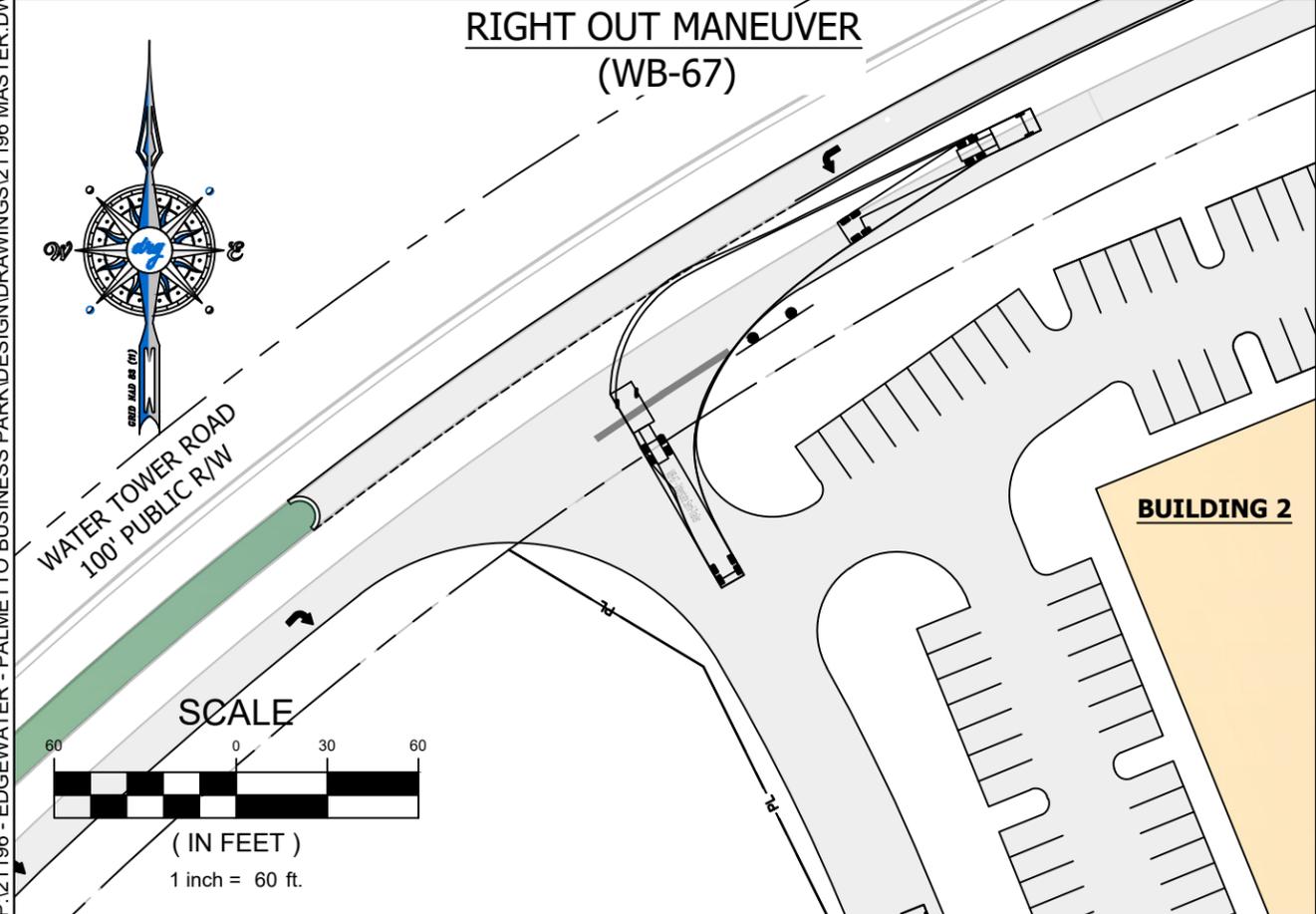
**RIGHT IN MANEUVER
(WB-67)**



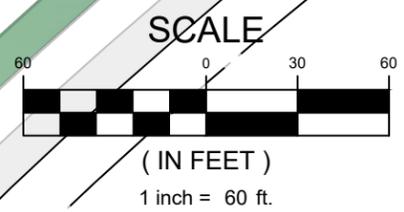
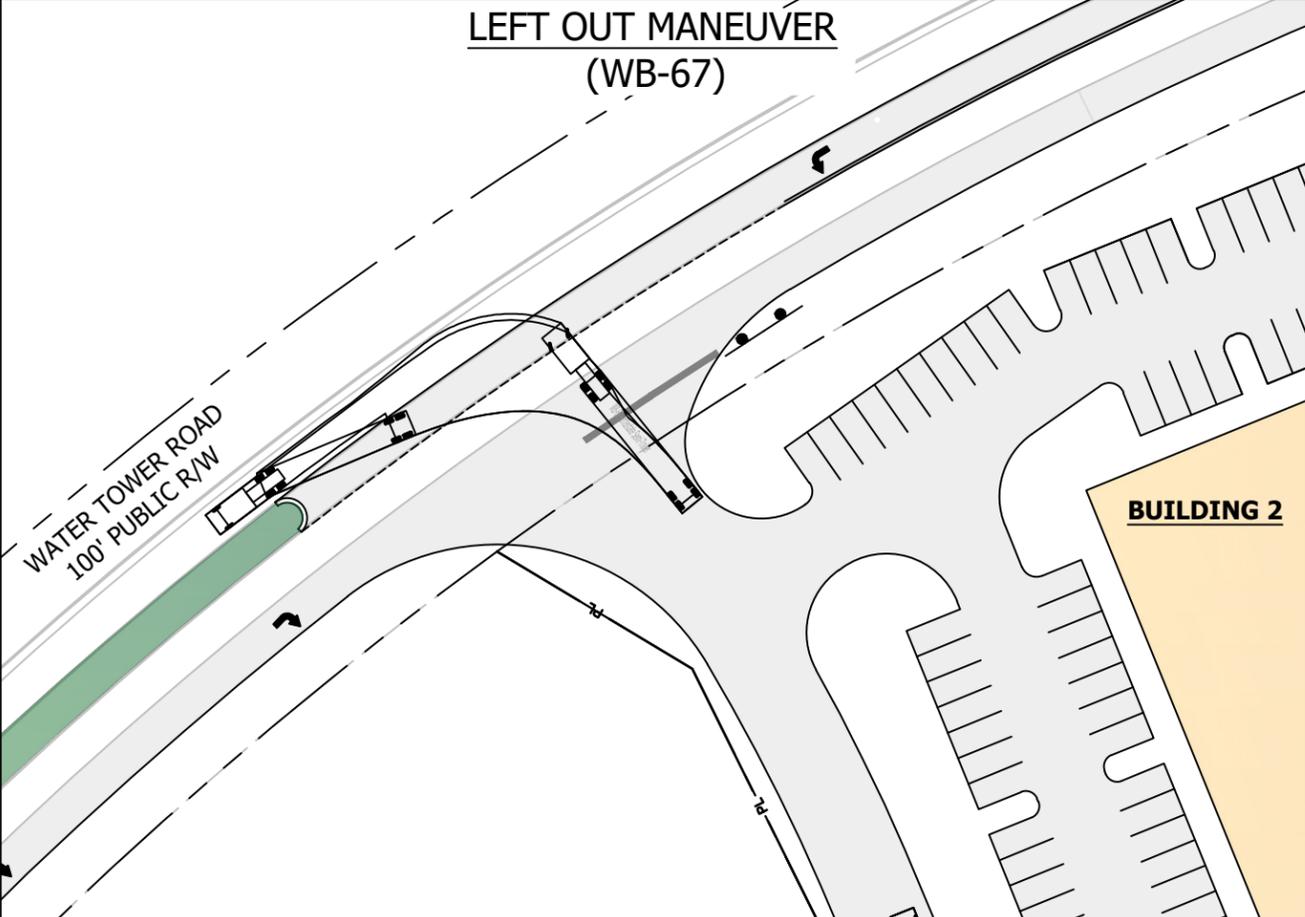
**LEFT IN MANEUVER
(WB-67)**



**RIGHT OUT MANEUVER
(WB-67)**



**LEFT OUT MANEUVER
(WB-67)**



DEVELOPMENT RESOURCE GROUP, LLC
 4703 OLEANDER DRIVE
 MYRTLE BEACH, SC 29577
 843-839-3350 | DRGPLLC.COM



**WB-67 MANEUVER EXHIBIT
(DRIVEWAY 2)**

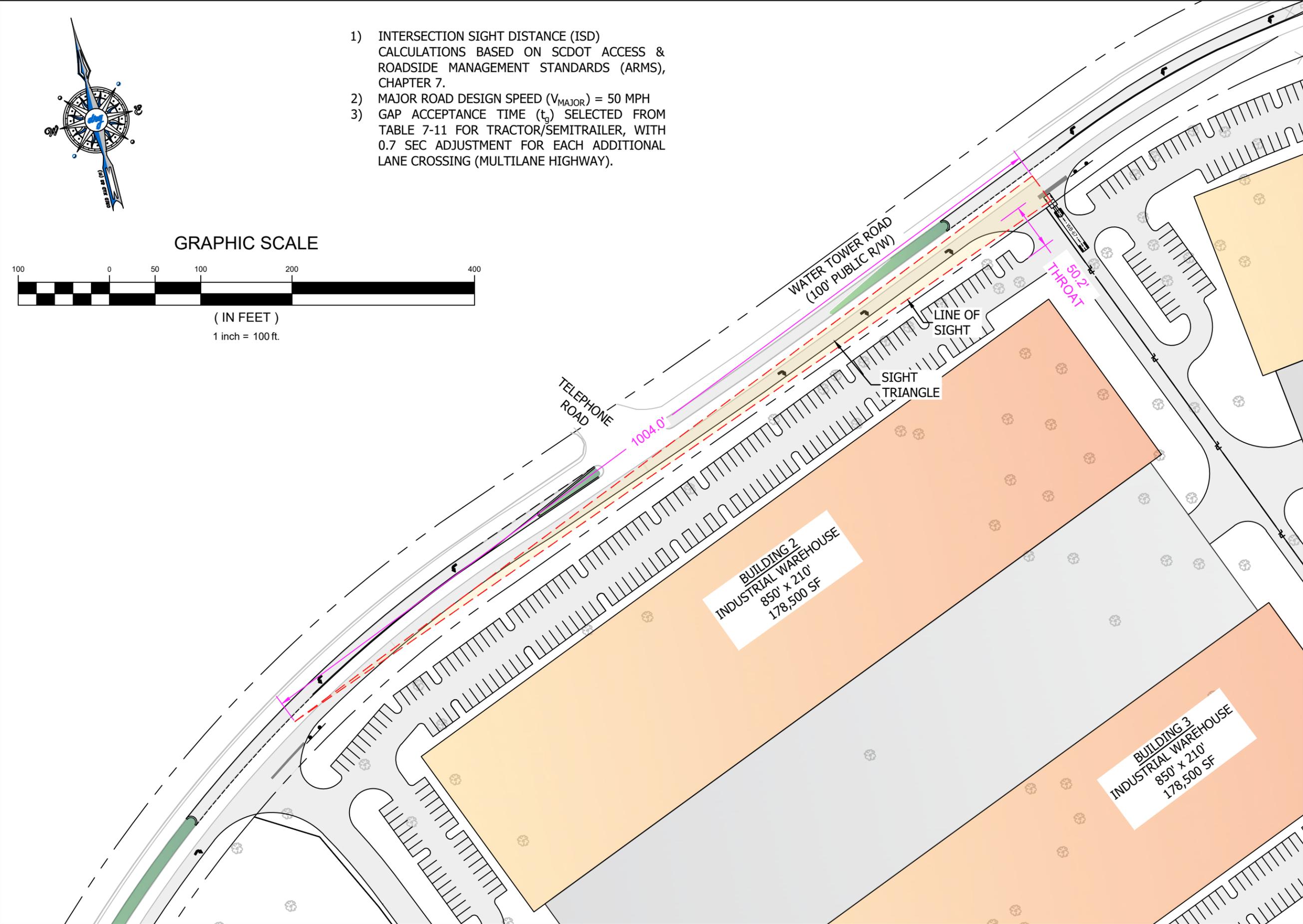
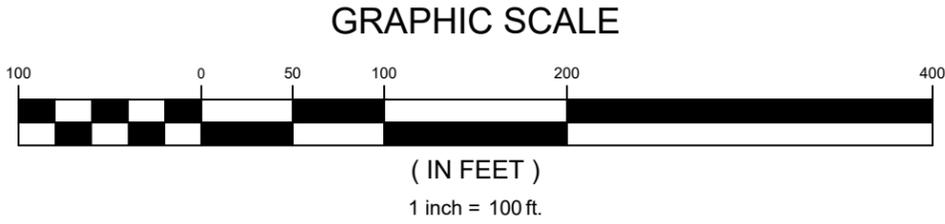
PALMETTO INDUSTRIAL PARK
 (placeholder name)

JOB NO:	21.196
SCALE:	1" = 60'
DRAWN BY:	MES
CHECKED BY:	MES
DATE:	02/24/2022
EXHIBIT NUMBER:	

M-1



- 1) INTERSECTION SIGHT DISTANCE (ISD) CALCULATIONS BASED ON SCDOT ACCESS & ROADSIDE MANAGEMENT STANDARDS (ARMS), CHAPTER 7.
- 2) MAJOR ROAD DESIGN SPEED (V_{MAJOR}) = 50 MPH
- 3) GAP ACCEPTANCE TIME (t_g) SELECTED FROM TABLE 7-11 FOR TRACTOR/SEMITRAILER, WITH 0.7 SEC ADJUSTMENT FOR EACH ADDITIONAL LANE CROSSING (MULTILANE HIGHWAY).



DEVELOPMENT RESOURCE GROUP, LLC
 4703 OLEANDER DRIVE
 MYRTLE BEACH, SC 29577
 843-839-3350 | DRGPLLC.COM



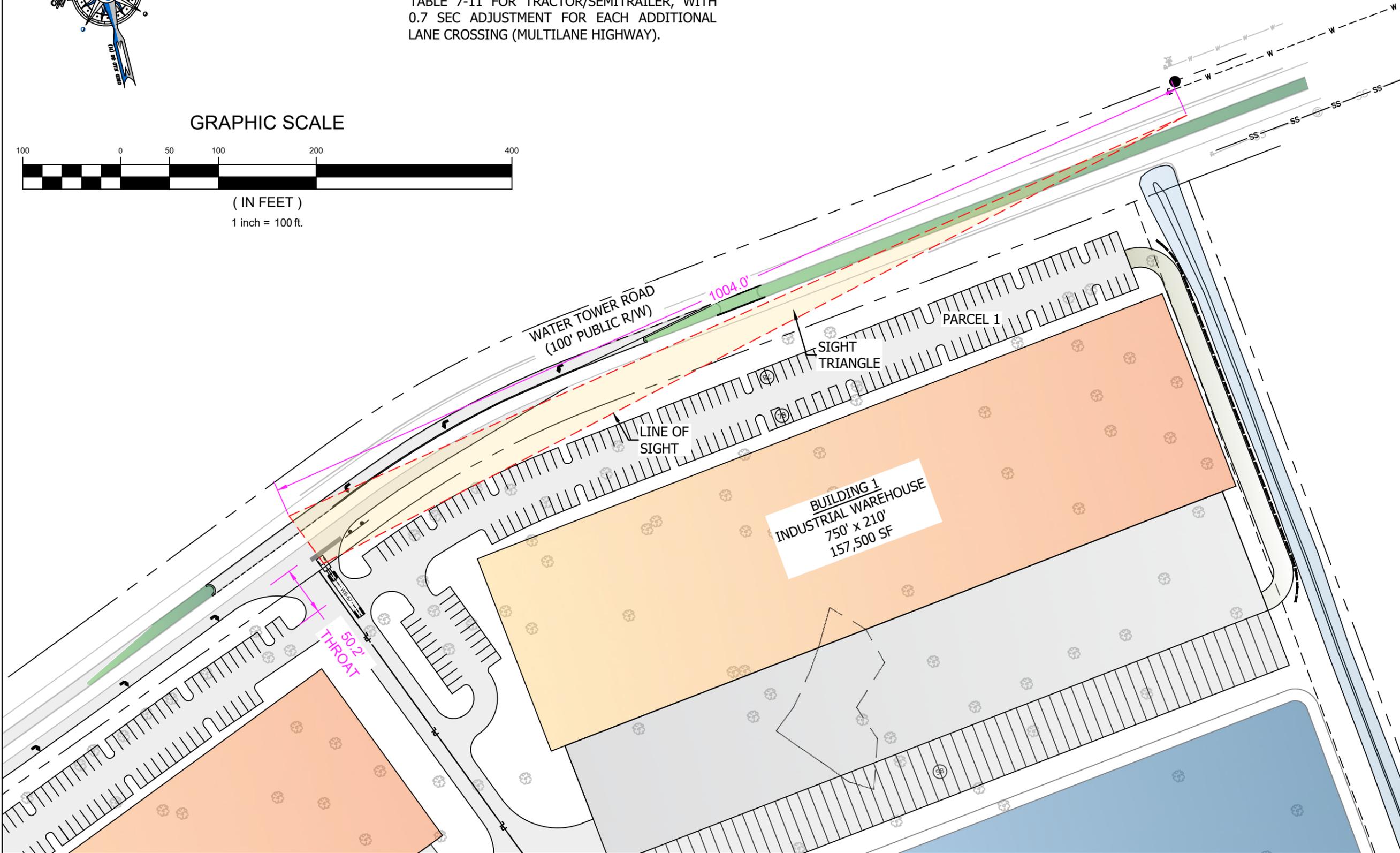
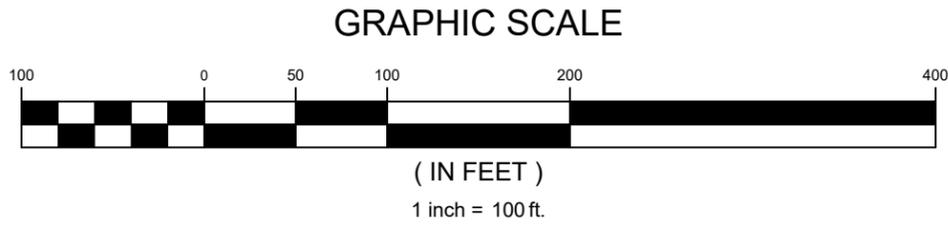
**DRIVEWAY 1 EXHIBIT
 (LEFT TRIANGLE)
 PALMETTO INDUSTRIAL PARK
 (placeholder name)**

JOB NO: 21.196
 SCALE: 1" = 100'
 DRAWN BY: MES
 CHECKED BY: MES
 DATE: 02/24/2022

EXHIBIT NUMBER:
DW-1-L



- 1) INTERSECTION SIGHT DISTANCE (ISD) CALCULATIONS BASED ON SCDOT ACCESS & ROADSIDE MANAGEMENT STANDARDS (ARMS), CHAPTER 7.
- 2) MAJOR ROAD DESIGN SPEED (V_{MAJOR}) = 50 MPH
- 3) GAP ACCEPTANCE TIME (t_g) SELECTED FROM TABLE 7-11 FOR TRACTOR/SEMITRAILER, WITH 0.7 SEC ADJUSTMENT FOR EACH ADDITIONAL LANE CROSSING (MULTILANE HIGHWAY).



DEVELOPMENT RESOURCE GROUP, LLC
4703 OLEANDER DRIVE
MYRTLE BEACH, SC 29577
843-839-3350 | DRGPLLC.COM



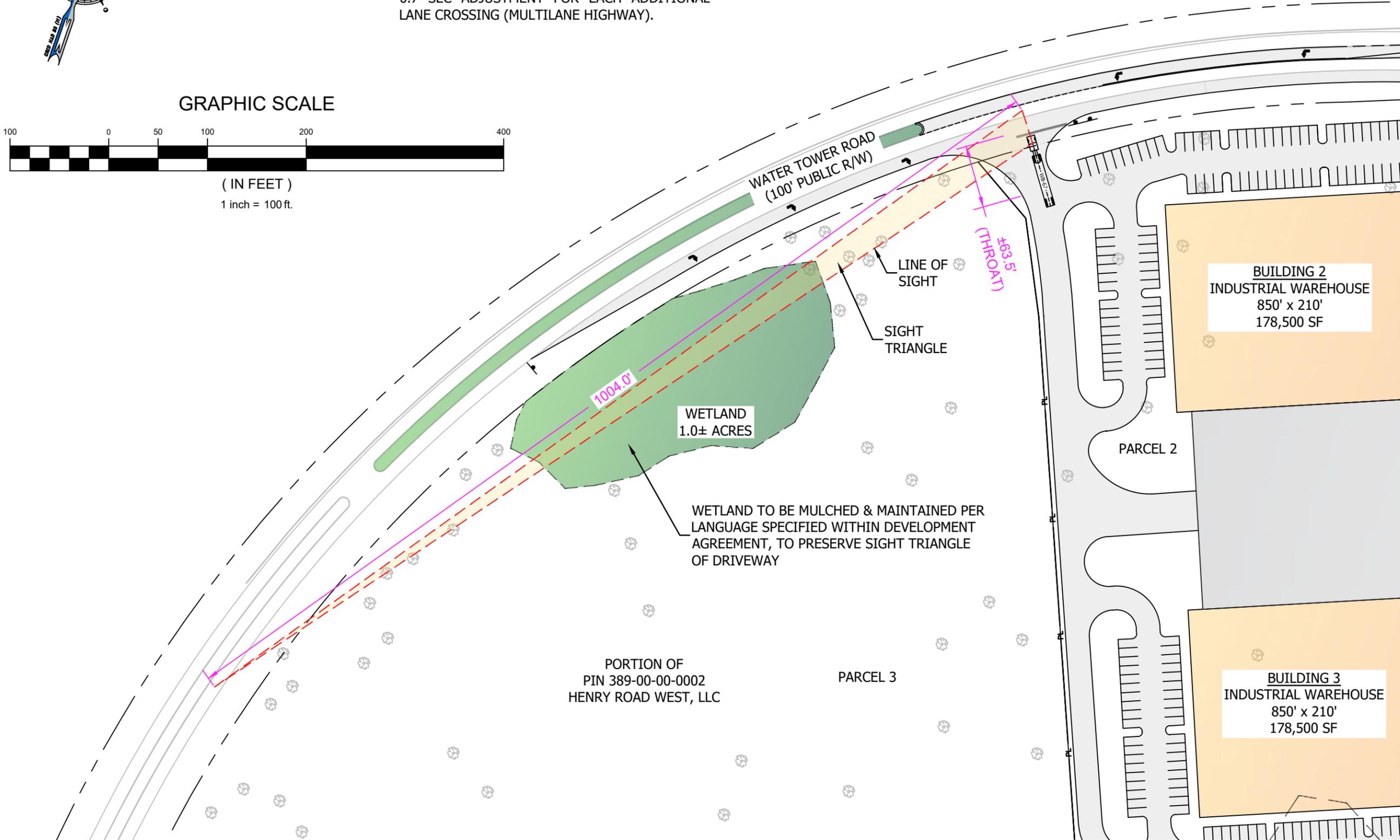
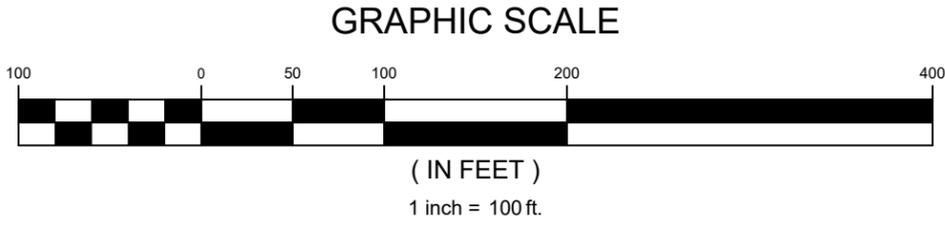
**DRIVEWAY 1 EXHIBIT
(RIGHT TRIANGLE)**
PALMETTO INDUSTRIAL PARK
(placeholder name)

JOB NO: 21.196
SCALE: 1" = 100'
DRAWN BY: MES
CHECKED BY: MES
DATE: 02/24/2022
EXHIBIT NUMBER:

DW-1-R



- 1) INTERSECTION SIGHT DISTANCE (ISD) CALCULATIONS BASED ON SCDOT ACCESS & ROADSIDE MANAGEMENT STANDARDS (ARMS), CHAPTER 7.
- 2) MAJOR ROAD DESIGN SPEED (V_{MAJOR}) = 50 MPH
- 3) GAP ACCEPTANCE TIME (t_g) SELECTED FROM TABLE 7-11 FOR TRACTOR/SEMITRAILER, WITH 0.7 SEC ADJUSTMENT FOR EACH ADDITIONAL LANE CROSSING (MULTILANE HIGHWAY).



DEVELOPMENT RESOURCE GROUP, LLC
4703 OLEANDER DRIVE
MYRTLE BEACH, SC 29577
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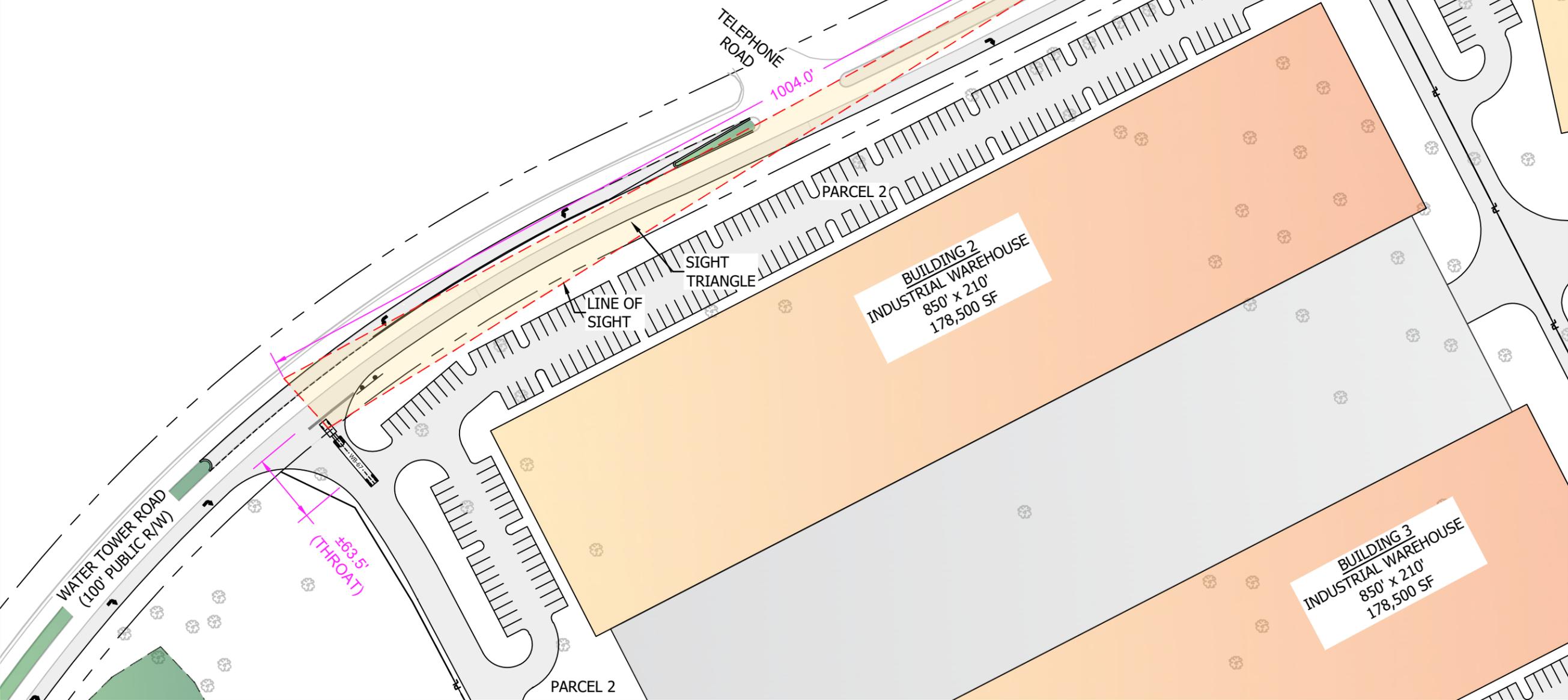
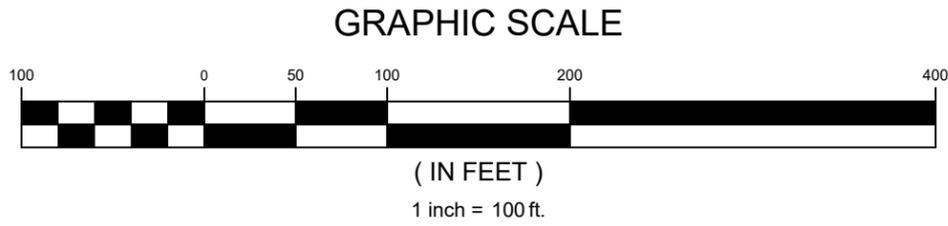
DRIVEWAY 2 EXHIBIT
(LEFT TRIANGLE)
PALMETTO INDUSTRIAL PARK
(placeholder name)

JOB NO:	21.196
SCALE:	1" = 100'
DRAWN BY:	MES
CHECKED BY:	MES
DATE:	02/24/2022
EXHIBIT NUMBER:	

DW-2-L



- 1) INTERSECTION SIGHT DISTANCE (ISD) CALCULATIONS BASED ON SCDOT ACCESS & ROADSIDE MANAGEMENT STANDARDS (ARMS), CHAPTER 7.
- 2) MAJOR ROAD DESIGN SPEED (V_{MAJOR}) = 50 MPH
- 3) GAP ACCEPTANCE TIME (t_g) SELECTED FROM TABLE 7-11 FOR TRACTOR/SEMITRAILER, WITH 0.7 SEC ADJUSTMENT FOR EACH ADDITIONAL LANE CROSSING (MULTILANE HIGHWAY).



DEVELOPMENT RESOURCE GROUP, LLC
 4703 OLEANDER DRIVE
 MYRTLE BEACH, SC 29577
 843-839-3350 | DRGPLLC.COM



**DRIVEWAY 2 EXHIBIT
 (RIGHT TRIANGLE)
 PALMETTO INDUSTRIAL PARK
 (placeholder name)**

JOB NO: 21.196
 SCALE: 1" = 100'
 DRAWN BY: MES
 CHECKED BY: MES
 DATE: 02/24/2022
 EXHIBIT NUMBER:

DW-2-R



SIGN











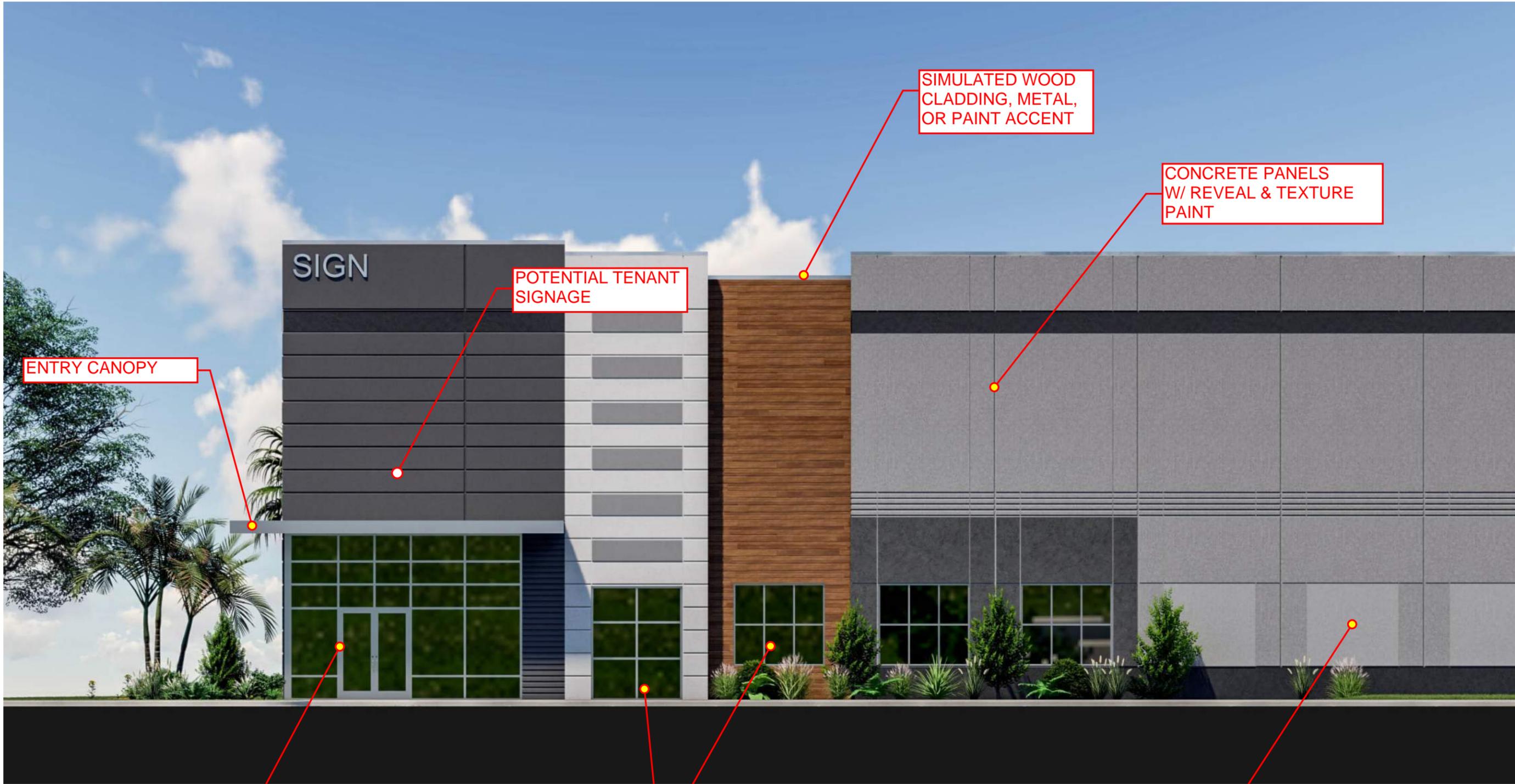


SIGN





SIGN



ENTRY CANOPY

SIGN

POTENTIAL TENANT SIGNAGE

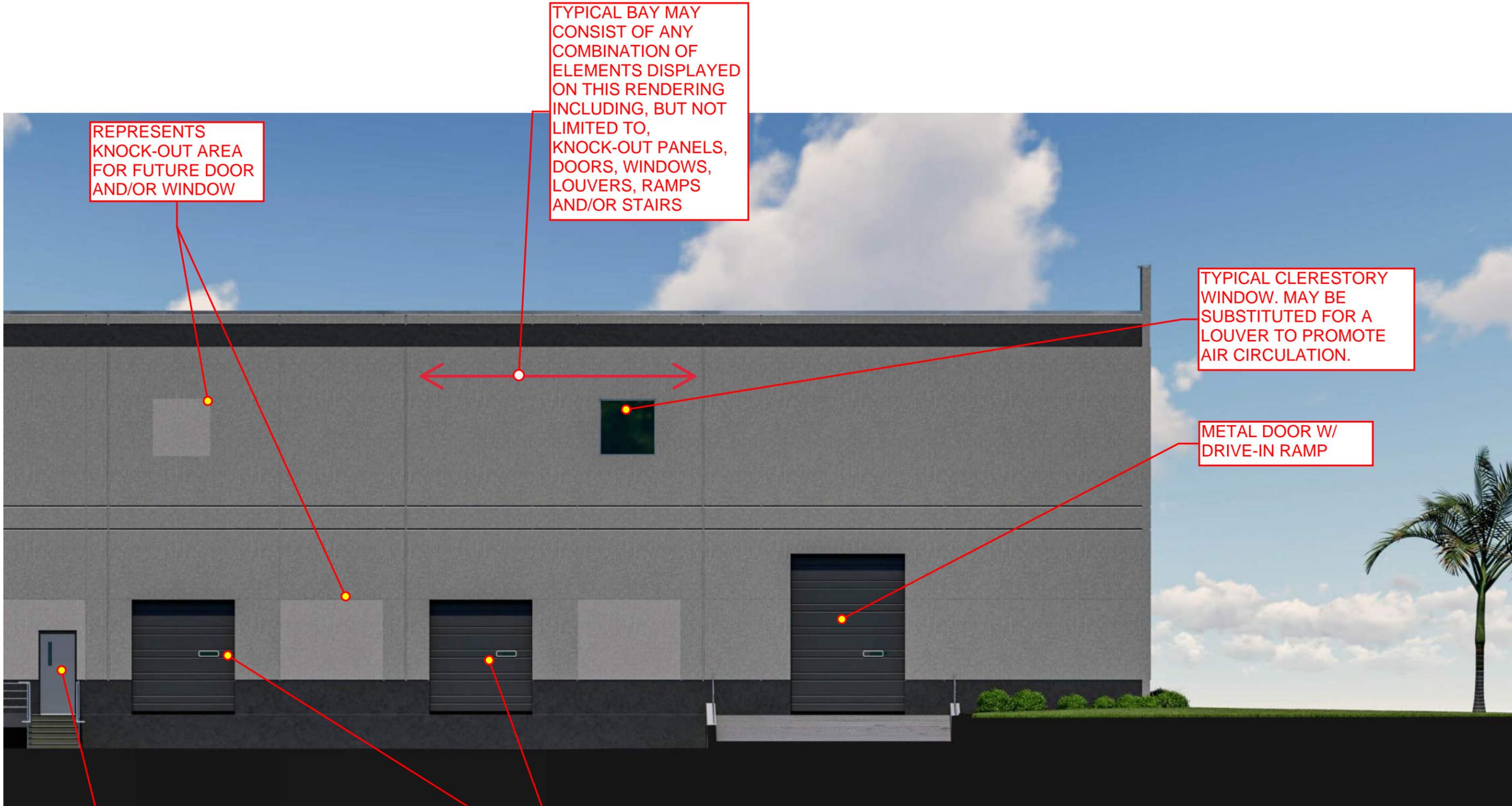
SIMULATED WOOD CLADDING, METAL, OR PAINT ACCENT

CONCRETE PANELS W/ REVEAL & TEXTURE PAINT

ALUMINUM & GLASS STOREFRONT ENTRY

TYPICAL WINDOW

REPRESENTS KNOCK-OUT AREA FOR FUTURE WINDOW



REPRESENTS
KNOCK-OUT AREA
FOR FUTURE DOOR
AND/OR WINDOW

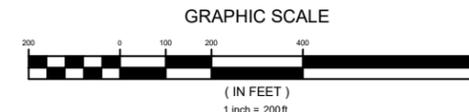
TYPICAL BAY MAY
CONSIST OF ANY
COMBINATION OF
ELEMENTS DISPLAYED
ON THIS RENDERING
INCLUDING, BUT NOT
LIMITED TO,
KNOCK-OUT PANELS,
DOORS, WINDOWS,
LOUVERS, RAMPS
AND/OR STAIRS

TYPICAL CLERESTORY
WINDOW. MAY BE
SUBSTITUTED FOR A
LOUVER TO PROMOTE
AIR CIRCULATION.

METAL DOOR W/
DRIVE-IN RAMP

TYPICAL
PERSONNEL DOOR
W/ METAL STAIR

STANDARD GRAY OR WHITE METAL DOCK DOOR WITH VIEW
LIGHT. DOCK DOORS LIKELY TO INCLUDE TENANT-SPECIFIC
EQUIPMENT INCLUDING, BUT NOT LIMITED TO, SEALS, BUMPER,
LEVELERS, DOCK LOCKS, LIGHTS AND/OR CANOPIES



PORTION OF
PIN 389-00-00-0002
HENRY ROAD WEST, LLC

STREET TREES
(50' SPACING - TYP.)

TELEPHONE ROAD
PRIVATE EASEMENT

WATER TOWER ROAD
100' PUBLIC R/W

STREET TREES
(50' SPACING - TYP.)

BUILDING 2
INDUSTRIAL WAREHOUSE
850' x 210'
178,500 SF
BLDG HEIGHT 50'±

182 STND PARKS
8 ADA PARKS
(@ 1 PARK / 940 SF)

BUILDING 1

INDUSTRIAL WAREHOUSE
750' x 210'
157,500 SF
BLDG HEIGHT 50'±

174 STND PARKS
6 ADA PARKS
(@ 1 PARK / 875 SQFT)
60 TRAILER PARKS

'BACK' WB-67 DOCKING BAYS (CONCRETE)

PARCEL 1

'BACK' WB-67 DOCKING BAYS (CONCRETE)

TRAILER PARKING 60' x 12' (CONCRETE)

PARCEL 2

BUILDING 3
INDUSTRIAL WAREHOUSE
850' x 210'
178,500 SF
BLDG HEIGHT 50'±

186 STND PARKS
8 ADA PARKS
(@ 1 PARK / 920 SF)

STORMWATER POND
3.6± ACRES

PARCEL 3

WETLAND
1.0± ACRES
(on site)

FUTURE DEVELOPMENT

STORMWATER POND
1.2± ACRES

WETLAND
2.6± ACRES

WETLAND
2.4± ACRES

WETLAND
6.88± ACRES
(Total)

PORTION OF
PIN 389-00-00-0002
HENRY ROAD WEST, LLC

WETLAND
1.1± ACRES
(on site)

*STREET TREES SHALL BE OF SPECIES CONSISTENT WITH SCDOT "SUGGESTED STREET TREE & SIDEWALK PLANTINGS", LATEST VERSION & BE PLANTED IN ACCORDANCE WITH SCDOT "VEGETATION MANAGEMENT GUIDELINES", LATEST VERSION.

DEVELOPMENT RESOURCE GROUP, LLC
4703 OLEANDER DRIVE
MYRTLE BEACH, SC 29577
843-839-3350 | DRGPLLC.COM



**CONCEPTUAL
LANDSCAPE PLAN
PALMETTO INDUSTRIAL PARK
(placeholder name)**

JOB NO: 21.196

SCALE: 1" = 200'

DRAWN BY: MES

CHECKED BY: MES

DATE: 02/25/2022

EXHIBIT NUMBER:

L1

Palmetto Industrial Park Approved Plant Material. Additional cultivars and species of below genus are acceptable.

Common Name	Botanical Name
Abelia	<i>Abelia grandifolia</i>
American Holly	<i>Ilex opaca</i>
Arborvitae	
Eastern Arborvitae	<i>Thuja occidentalis</i> 'Emerald'
Oriental Arborvitae	<i>Thuja orientalis</i>
Green Giant Arborvitae	<i>Thuja plicata x standishii</i> 'Green Giant'
Azalea	<i>Rhododendron x</i>
Bald Cypress	<i>Taxodium distichum</i>
Beautyberry	<i>Callicarpa americana</i>
Black Gum	<i>Nyssa sylvatica</i>
Blue Pacific Juniper	<i>Juniperus conferta</i> 'Blue Pacific'
Boxwood	<i>Buxus sp.</i>
Cabbage Palm	<i>Sabal palmetto</i>
Cleyera	<i>Cleyera japonica</i>
Camellia	<i>Camellia sasanqua</i> 'Kanjiro', 'Setsugekka'
Carolina Cherry Laurel	<i>Prunus caroliniana</i>
Carolina Silverbell	<i>Halesia tetraptera</i>
Cast Iron Plant	<i>Aspidistra elatior</i>
Chastetree	<i>Vitex agnus-castus</i>
Chinese Fringe Flower	<i>Loropetalum chinensis</i>
Chinese Fringe Tree	<i>Chionanthus retusus</i>
Chinese Podocarpus	<i>Podocarpus macrophyllus</i> 'Maki'
Cleyera	<i>Ternstroemia gymnanthera</i>
Crape Myrtle	<i>Lagerstromieia sp/x</i>
Creeping Juniper	<i>Juniperus horizontalis</i>
Creeping Rosemary	<i>Rosmarianus officinalis</i> 'Prostratus'
Dahoon Holly	<i>Ilex cassine</i>
Dwarf Palmetto	<i>Sabal minor</i>
Eastern Red Cedar	<i>Juniperus virginiana</i>
Fatsia	<i>Fatsia Japonica</i>
Florida Anise	<i>Illicium floidanum</i>
Flowering Dogwood	<i>Cornus florida</i>
Forsythia	<i>Forsythia x intermedia</i>
Fortune's Osmanthus	<i>Osmanthus x fortunei</i>
Foster's Holly	<i>Ilex x attenuata</i> 'Fosters'
Fragrant Tea Olive	<i>Osmanthus fragrans</i>
Gardenia	<i>Gardenia jasminodes</i>
Holly	<i>Ilex sp.</i>
Inkberry Holly	<i>Ilex glabra</i>
Carissa Holly	<i>Ilex cornuta</i> 'Carissa'
Chinese Holly	<i>Ilex cornuta</i>
Japanese Holly	<i>Ilex crenata</i>

Yaupon Holly (Dwarf)	<i>Ilex vomitoria</i>
Nellie Stevens Holly	<i>Ilex x 'Nellie Stevens'</i>
Oak Leaf Red Holly	<i>Ilex x 'Conaf'</i>
Festive Red Holly	<i>Ilex x 'Conive'</i>
Robin Red Holly	<i>Ilex x 'Conin'</i>
Rotunda Holly	<i>Ilex cornuta 'Rotunsa'</i>
Needlepoint Holly	<i>Ilex cornuta 'Needlepoint'</i>
Emily Bruner Holly	<i>Ilex x 'Emily Bruner'</i>
Indian Hawthorne	<i>Raphiolepis indica</i>
Japanese Camellia	<i>Camellia japonica</i>
Jelly Palm	<i>Butia capitata</i>
Juniper	<i>Juniperus 'Spartan'</i>
Lacebark Elm	<i>Ulmus parvifolia</i>
Laurel Oak	<i>Quercus laurifolia</i>
Leyland Cypress	<i>Cupressocyparis leylandii</i>
Ligustrum	<i>Ligustrum sp</i>
Liriope	<i>Liriope muscarii</i>
Little Gem Magnolia	<i>Magnolia grandiflora 'Little Gem'</i>
Live Oak	<i>Quercus virginiana</i>
Loblolly Pine	<i>Pinus taeda</i>
Longleaf Pine	<i>Pinus palustris</i>
Loquat	<i>Eriobotrya japonica</i>
Maiden Grass	<i>Miscanthus sinensis</i>
Majestic Beauty Indian Hawthorn	<i>Raphiolepis umbellata 'Majestic Beauty'</i>
Muhly Grass	<i>Muhlenbergia capillaris</i>
Mondo Grass	<i>Ohiopogon japonicus</i>
Nellie Stevens' holly	<i>Ilex x 'Nellie Stevens'</i>
Nutall Oak	<i>Quercus nutallii</i>
Okame Cherry	<i>Prunus x 'Okame'</i>
Oleander	<i>Nerium oleander</i>
Overcup Oak	<i>Quercus lyrata</i>
Pampas Grass	<i>Cortaderia selloana</i>
Pineapple Guava	<i>Feijoa sellowiana</i>
Pittosporum	<i>Pittosporum tobira</i>
Red Bud	<i>Cercis canadensis</i>
Red Maple	<i>Acer rubrum</i>
Red Oak	<i>Quercus rubra</i>
River Birch	<i>Betula nigra</i>
Rose Hybrids	<i>Rosa x</i>
Sasanqua Camellia	<i>Camellia sasanqua</i>
Satsuki Azaleas	<i>Rhododendron 'Satsuki', 'Gumpo'</i>
Sawtooth Oak	<i>Quercus acutissima</i>
Shrub Yew	<i>Podocarpus macrophyllus</i>
Shumard Oak	<i>Quercus shumardii</i>
Southern Magnolia	<i>Magnolia grandiflora</i>
Southern Indica Azalea	<i>Rhododendron 'Formosa', 'George Tabor', 'G.G. Gerning'</i>
Southern Red Oak	<i>Quercus falcata</i>
Spreading Liriope	<i>Liriope spicata</i>

Star Jasmine	<i>Trachelospermum asiaticum</i>
Sweetgum	<i>Liquidambar styraciflua</i>
Sycamore	<i>Platanus occidentalis</i>
Tea Olive	<i>Osmanthus fragrans</i>
Tuliptree	<i>Liriodendron tulipifera</i>
Viburnum	<i>Viburnum sp.</i>
Japanese Viburnum	<i>Viburnum japonicum</i>
Laurestinus Viburnum	<i>Viburnum tinus</i>
Leatherleaf Viburnum	<i>Viburnum rhytidophyllum</i>
Koreanspice Viburnum	<i>Viburnum carlesi</i>
Sandwanka Viburnum	<i>Viburnum suspensum</i>
Sweet Viburnum	<i>Viburnum odoatissimum</i>
Spring Bouquet Laurustinus	<i>Viburnum tinus</i> 'Compactum'
Chindo Viburnum	<i>Viburnum awabuki</i> 'Chindo'
Virginia Sweetspire	<i>Itea virginica</i>
Water Oak	<i>Quercus phellos</i>
Wax Myrtle	<i>Myrica cerifera</i>
Waxleaf Ligustrum	<i>Ligustrum chinensis</i>
Walter's Viburnum	<i>Viburnum obovatum</i>
Weigela	<i>Weigela florida</i>
White Oak	<i>Quercus alba</i>
Willow Oak	<i>Quercus phellos</i>
Wintergreen Barberry	<i>Berberis thunbergii</i>
Witch-hazel	<i>Hamamelis virginiana</i>
Toshino Cherry	<i>Prunus x yedoensis</i>

MEMORANDUM

To: Aaron Rucker, AICP
From: Robert F. Wilfong, Jr., P.E.
Project Manager
Date: February 28, 2022
Subject: Traffic Assessment – Palmetto Industrial Park

Background/Roadway Conditions

The purpose of this memorandum is to summarize the results of a traffic impact assessment performed for the Palmetto Industrial Park which is located on Water Tower Road north and east of the interchange of Water Tower Road / Carolina Bay Parkway (SC 31).

The proposed site consists of three (3) warehouse buildings that total 514,500 sq. ft. in floor area. Two (2) full-access driveways are proposed on Water Tower Road for access to the proposed site. The easternmost driveway is labeled as Driveway #1, while the westernmost driveway is labeled as Driveway #2. Both the spacing of the proposed driveways and the spacing of their associated median openings have been checked against SCDOT standards and have been found to comply. A site plan is included in the Appendix to this memo.

Palmetto Industrial Park is expected to be fully built out and occupied in three (3) years from approvals of site plan reviews.

Water Tower Road is currently a two-lane median divided facility with a 50-mph design speed. 24-hour traffic counts were collected on Water Tower Road near the site on January 19, 2022. The current daily traffic on Water Tower is 2,660 vehicles per day. The typical capacity of a two-lane road is approximately 15,000 vehicles per day so current daily traffic represents only 18% of its capacity. As a result, on a daily basis, Water Tower Road is operating at level-of-service (LOS) A.

Traffic analysis, however, is conducted on a peak hour basis. The peak hour of the adjacent street is typically taken to be a one-hour time period between 7-9 AM in the morning and between 4-6 during the afternoon. The AM Peak hour of Water Tower Road occurs between 7-8 AM where 235 vehicles per hour (vph) were



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www.drgpllc.com



4703 Oleander Drive
Myrtle Beach, SC 29577

recorded. The PM peak period of Water tower Road occurs between 3-4 PM where 232 vph were recorded. The AM peak hour is the highest and therefore was used in subsequent analysis for this memo. 1,800 vph typically represents the capacity of a single lane of traffic. As a result, Water Tower Road is operating at approximately 7% of its capacity and is thereby considered to operate at a LOS A during the peak hour.

Trip Generation and Assignment

The trip generation of Palmetto Industrial Park was estimated using the most recent edition of the Institute of Traffic Engineers (ITE) Trip Generation Handbook. The site plan clearly establishes the use of the buildings as Warehouses. As a result, ITE land use code 150 (Warehousing) was selected to forecast site generated traffic trips at project build out. Project build-out is full occupancy and use and, thus, represents the maximum amount of site generated traffic that will likely occur.

The gross square footage of all three buildings totals 514,500 sq. ft. Using ITEs rates and/or equations results in a daily trip generation of 851 trip ends (50% trips in and 50% trips out). During the AM peak hour of the adjacent street, an estimated 87 trip ends are forecasted (67 trips in and 20 trips out). During the PM peak hour of the adjacent street, an estimated 93 trip ends are forecasted (26 trips in and 67 trips out).

The ARMs Manual requires a traffic impact analysis when forecasted trip generation exceeds 100 peak hour trip ends. As a result, only a traffic impact assessment represented by this memorandum was deemed necessary.

Based upon our experience and previous data for similar warehouse sites, we expect that as much as 40% of peak hour trip generation will consists of truck traffic (consisting of both single unit trucks and tractor trailer combinations). All truck traffic will be directed to come to and from the interchange at SC 31 / Water Tower Road. In other words, all truck traffic will turn right into the site and turn left to exit the site.

Access Considerations

We have assumed a three percent (3%) growth rate over the next three years to forecast future Water Tower Road peak hour volumes at project buildout. This is called non-site traffic or background traffic. When site generated traffic is added to background traffic the result is Total Traffic at project buildout.

Auxiliary lanes play a significant role in roadway safety and efficiency at site access points. In the case of Palmetto Industrial Park, these lanes would be separate

westbound dedicated left-turn lanes and separate dedicated eastbound right turn lanes entering the site. The SCDOT ARMS Manual provides graphs to determine when inbound auxiliary lanes are warranted along the major street (in this case Water Tower Road). These graphs are included in the Appendix.

The AM peak hour of the adjacent street is forecasted to receive the majority of entering volumes so the AM peak hour total volumes will govern in determining if separate dedicated right-turn and left-turn lanes are needed. Given that two (2) driveways are proposed, for eastbound right-turns entering the site, we assumed that the first driveway encountered would likely receive most right turn entering site traffic (this being Driveway #2). We assumed 70% of all entering right turn traffic would utilize this driveway for both right turns entering the site and left turns exiting the site. A passenger car equivalent of 2.0 was used for converting truck traffic to passenger cars. The plotted point on Figure 9.5-3 represent Driveway #2's forecasted right turns and forecasted eastbound Water Tower Road non-site traffic at project buildout. The results indicate that a separate dedicated eastbound right turn lane into Driveway #2 (the highest volume driveway) is not warranted.

Again, the AM peak hour governs when considering vehicles turning left into the site. Figure 9.5-5 in the Appendix represents SCDOT standards for determine when separate dedicated left-turn lanes are required at unsignalized access points. Traffic entering the site from the east (or westbound on Water Tower) will be entirely passenger cars because all site generated truck trips originate from the west (or eastbound). As a result, we forecast that, at most, only 26 vehicles per hour are forecasted to turn left into Driveway #2. In this case, 146 vehicles per hour plus 26 passenger cars turning left are the volume approaching (V_A) while 157 vehicles per hour are opposing (V_O). Percentage of vehicles entering by turning left at any site driveway are forecasted to be approximately 15%. This has been plotted on Figure 9.5-5 in the Appendix. The plotted point is to the left of the estimated left-turns in the V_A curve, so a left-turn lane is not considered necessary at buildout.

Sight Distance

Intersection sight distance is the distance a motorist can see approaching vehicles before their line of sight is blocked by an obstruction near the intersection. SCDOT standards provide guidance to the traffic engineer for various conditions and prevailing speeds.

Driveways along the inside of horizontal curves are one of the more consistent line-of-sight obstructions, especially if vegetation or other obstructions exist adjacent to the major street travel lanes. In the case of Palmetto Industrial Park, Driveway #2 at Water Tower Road represents the most limiting driveway from a sight distance perspective.

When confirming that each driveway has adequate intersection sight distance a sight triangle is traditionally established. For Driveway #2, the sight lines are obstructed by a wetland area to the right of the eastbound/northbound travel lane on Water Tower Road. Adequate intersection sight distance for Driveway #2 cannot be obtained without clearing of the wetland. It is proposed that this wetland area be mulched and that a maintenance agreement be established within the development agreement to mitigate line-of-sight limitations.

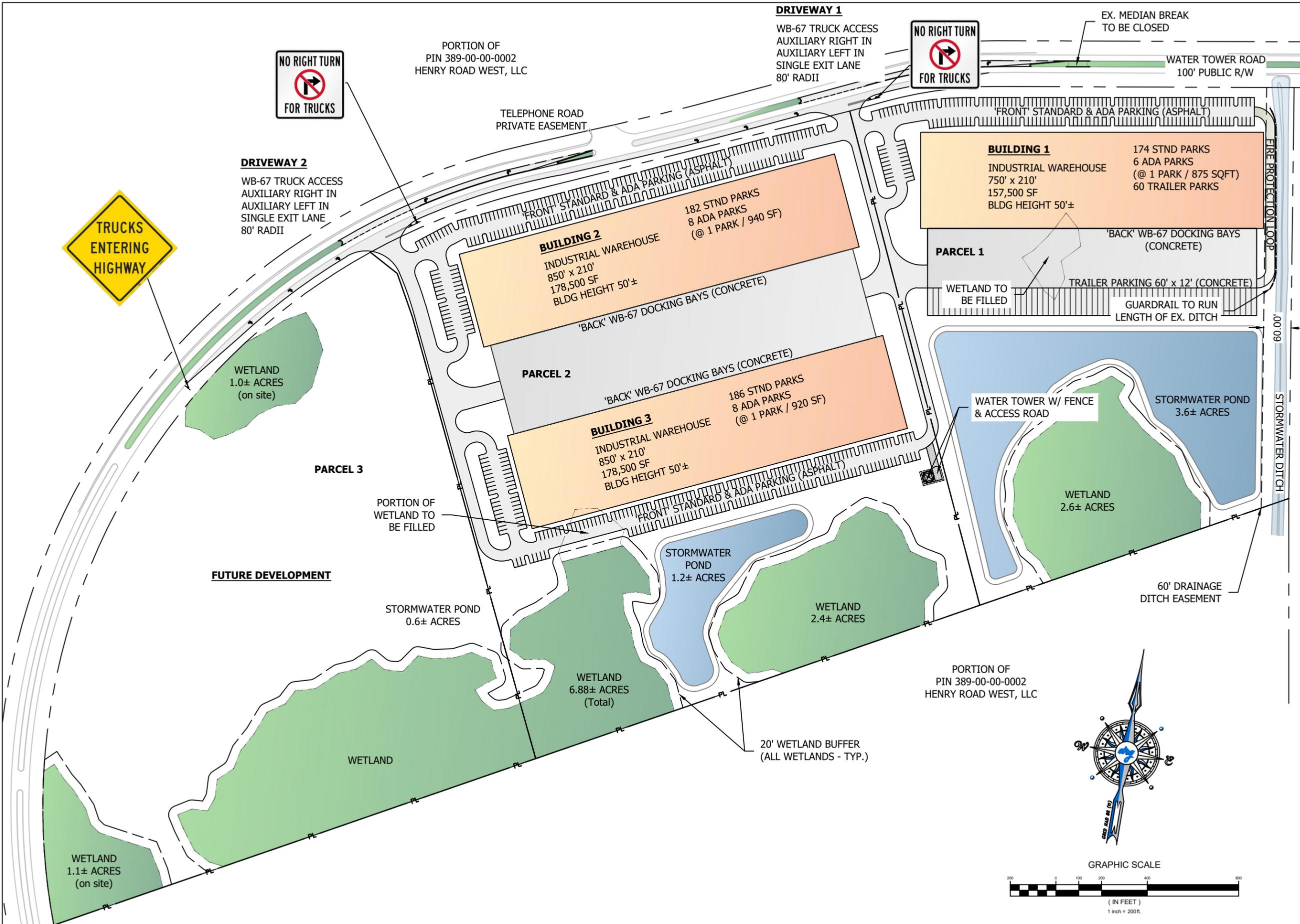
A Figure in the Appendix is attached that illustrates the required sight triangle at Driveway #2.

Summary

The results of the traffic impact assessment for the Palmetto Industrial Park indicates that at build-out, total traffic on Water Tower Road does not require the construction of either separate dedicated right turn lanes or separate dedicated left-turn lanes at proposed site driveways.

It is recommended however, that intersection sight distance restrictions be mitigated for exiting Palmetto Industrial Park traffic to safely enter Water Tower Road.

Appendix



Short Counts, LLC

735 Maryland St
Columbia, SC 29201

Site Code: Water Tower Rd
Station ID: EB Traffic
Just East of Telephone Rd
Myrtle Beach, SC
Latitude: 0' 0.0000 Undefined

Start Time	Wed 19-Jan-22	<-----Quarter		Hour----->		Hour Total	
		1st	2nd	3rd	4th		
12:00 AM		0	0	1	0	1	
01:00		0	0	0	0	0	
02:00		2	0	0	0	2	
03:00		0	0	0	0	0	
04:00		0	0	1	1	2	
05:00		0	0	0	3	3	
06:00		5	4	14	15	38	██████████
07:00		12	18	22	24	76	████████████████████
08:00		28	24	24	29	105	██
09:00		30	22	25	22	99	██
10:00		23	16	25	25	89	██
11:00		28	13	28	18	87	██
12:00 PM		33	20	29	26	108	██
01:00		22	15	25	26	88	██
02:00		21	34	18	31	104	██
03:00		26	33	35	17	111	██
04:00		27	28	22	33	110	██
05:00		32	25	20	19	96	██
06:00		20	11	13	7	51	██
07:00		10	9	10	6	35	██
08:00		4	7	4	5	20	██
09:00		5	7	1	5	18	██
10:00		3	3	4	4	14	██
11:00		1	1	0	1	3	
Day Total						1260	
Total						1260	
ADT		ADT 1,260		AADT 1,260			

Short Counts, LLC

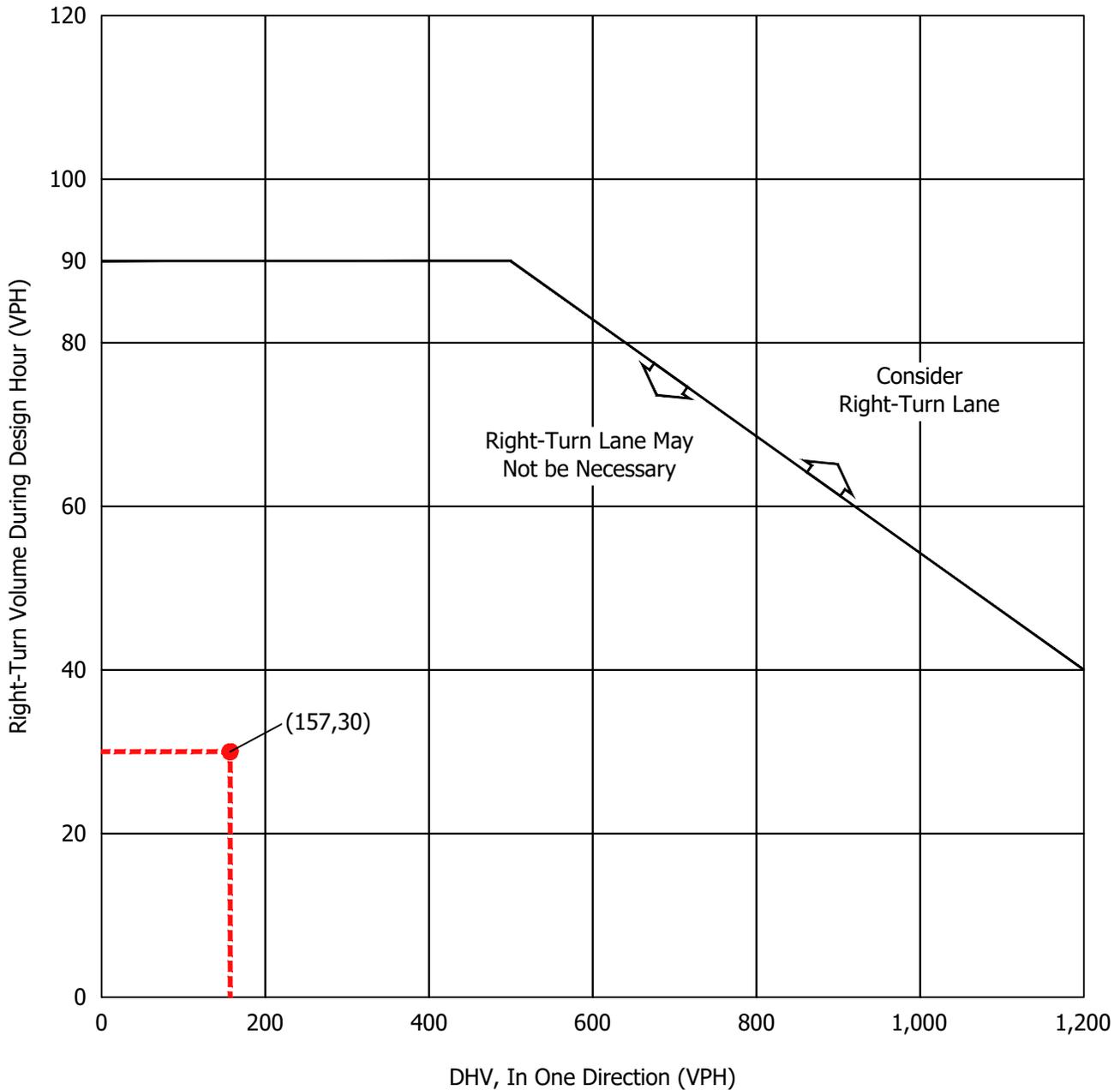
735 Maryland St
Columbia, SC 29201

Site Code: Water Tower Rd
Station ID: WB Traffic
Just East of Telephone Rd
Myrtle Beach, SC
Latitude: 0' 0.0000 Undefined

Start Time	Wed 19-Jan-22	<-----Quarter		Hour----->		Hour Total	
		1st	2nd	3rd	4th		
12:00 AM		1	1	0	0	2	
01:00		0	0	0	0	0	
02:00		0	0	0	1	1	
03:00		0	0	1	1	2	
04:00		0	1	0	1	2	
05:00		4	3	2	3	12	
06:00		10	12	10	16	48	
07:00		24	28	32	46	130	
08:00		30	24	24	33	111	
09:00		31	32	33	33	129	
10:00		26	26	36	20	108	
11:00		25	22	26	28	101	
12:00 PM		30	32	28	26	116	
01:00		26	20	34	24	104	
02:00		28	26	30	26	110	
03:00		32	21	40	28	121	
04:00		22	31	28	28	109	
05:00		25	29	14	28	96	
06:00		14	19	22	7	62	
07:00		3	5	2	3	13	
08:00		3	2	1	1	7	
09:00		3	2	2	1	8	
10:00		1	2	3	0	6	
11:00		1	1	0	0	2	
Day Total						1400	
Total						1400	
ADT		ADT 1,400	AADT 1,400				

PALMETTO INDUSTRIAL PARK

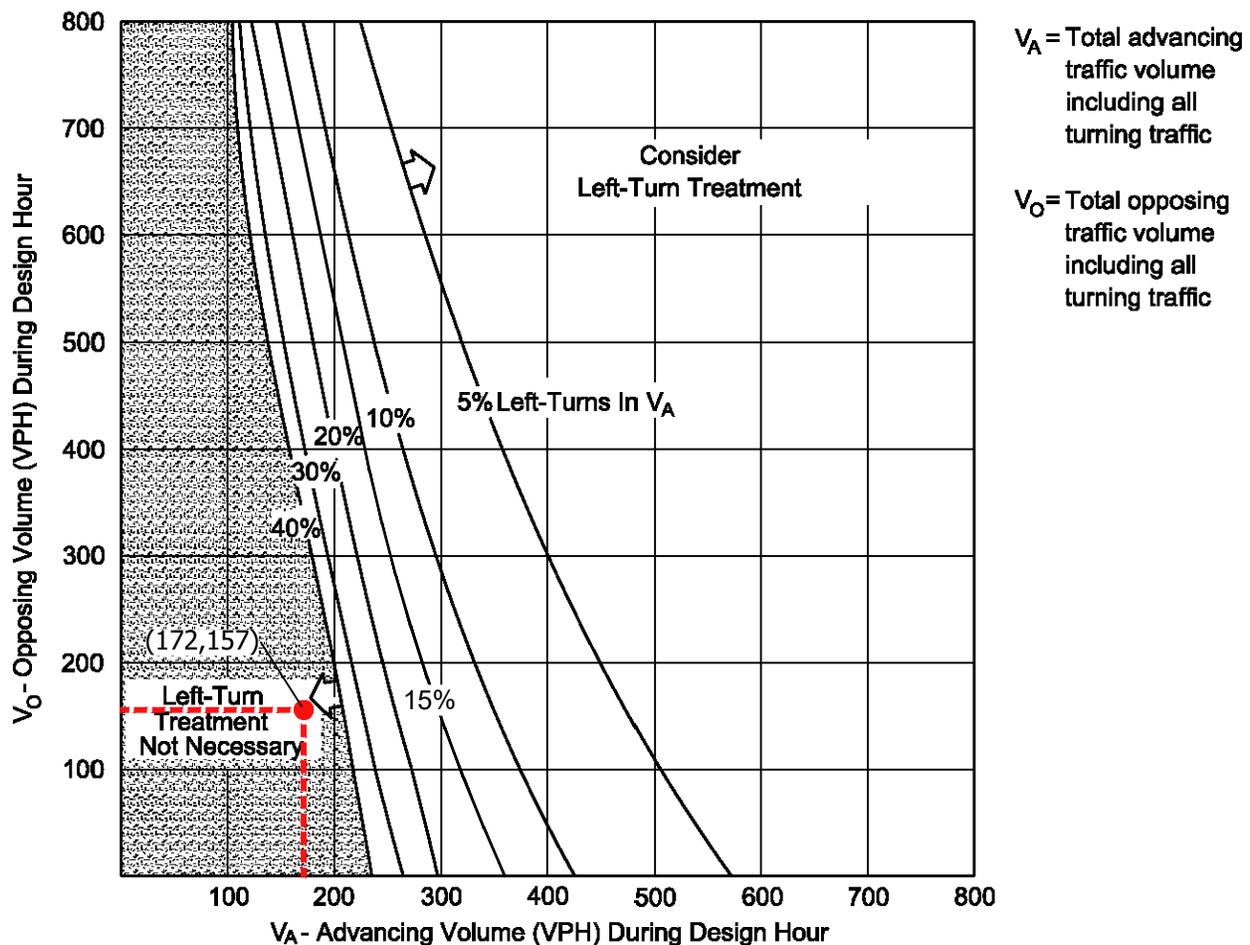
AM RIGHT TURNS AT DRIVEWAY #2



Note: Figure is only applicable on highways with a design speed of 50 miles per hour or greater.

PALMETTO INDUSTRIAL PARK

AM LEFT TURN AT DRIVEWAY #2



Instructions:

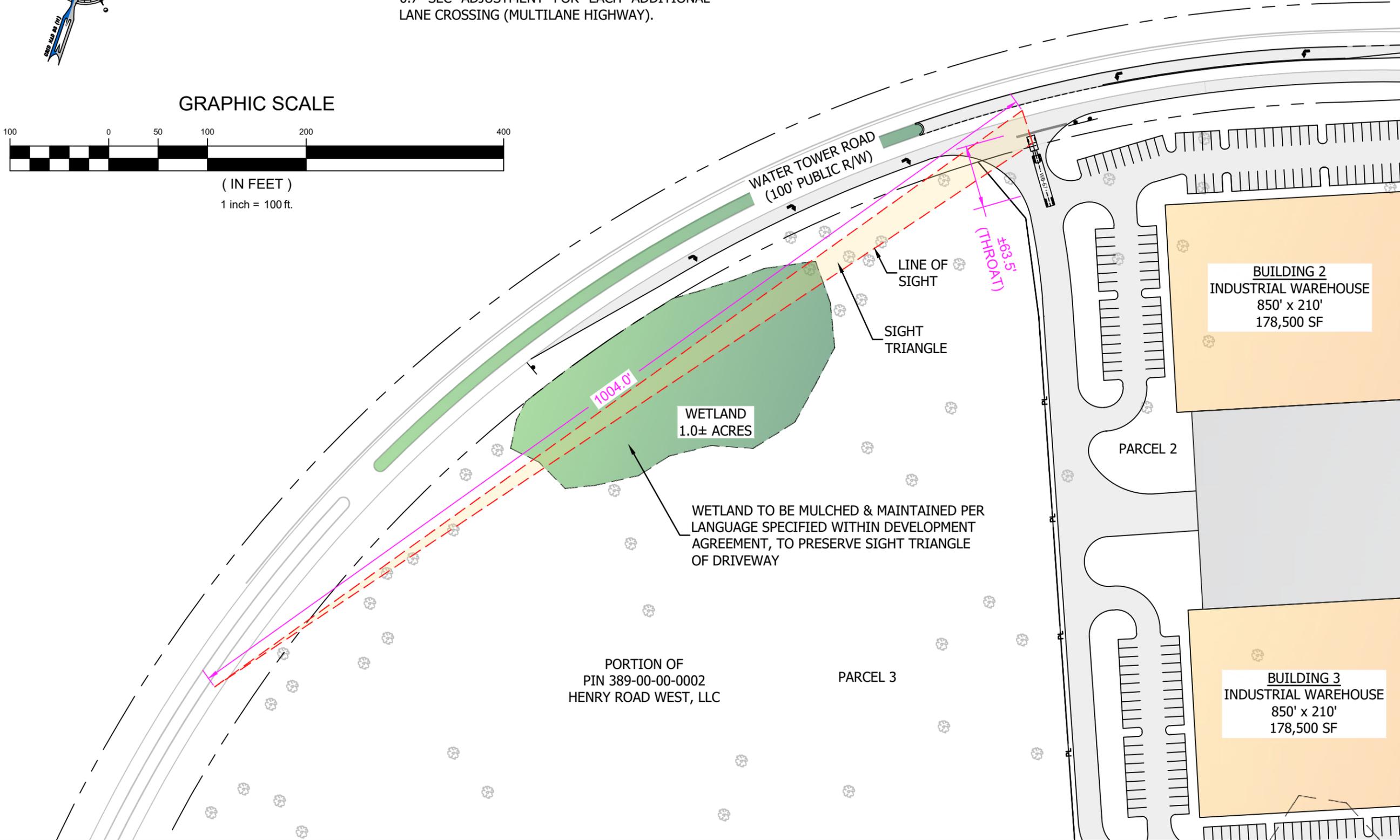
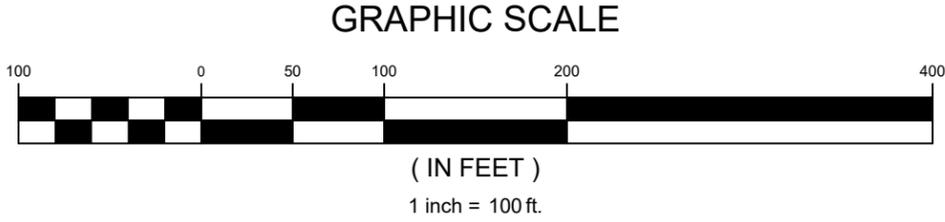
1. The family of curves represents the percent of left turns in the advancing volume (V_A). The designer should locate the curve for the actual percentage of left turns. When this is not an even increment of 5, the designer should estimate where the curve lies.
2. Read V_A and V_O into the chart and locate the intersection of the two volumes.
3. Note the location of the point in #2 relative to the line in #1. If the point is to the right of the line, then a left-turn lane is warranted. If the point is to the left of the line, then a left-turn lane is not warranted based on traffic volumes.

VOLUME GUIDELINES FOR LEFT-TURN LANES AT UNSIGNALIZED INTERSECTIONS ON TWO-LANE HIGHWAYS (60 mph)

Figure 9.5-C



- 1) INTERSECTION SIGHT DISTANCE (ISD) CALCULATIONS BASED ON SCDOT ACCESS & ROADSIDE MANAGEMENT STANDARDS (ARMS), CHAPTER 7.
- 2) MAJOR ROAD DESIGN SPEED (V_{MAJOR}) = 50 MPH
- 3) GAP ACCEPTANCE TIME (t_g) SELECTED FROM TABLE 7-11 FOR TRACTOR/SEMITRAILER, WITH 0.7 SEC ADJUSTMENT FOR EACH ADDITIONAL LANE CROSSING (MULTILANE HIGHWAY).



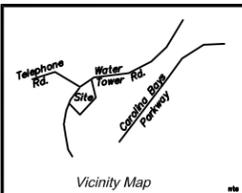
DEVELOPMENT RESOURCE GROUP, LLC
4703 OLEANDER DRIVE
MYRTLE BEACH, SC 29577
843-839-3350 | DRGPLLC.COM



**DRIVEWAY 2 EXHIBIT
(LEFT TRIANGLE)**
PALMETTO INDUSTRIAL PARK
(placeholder name)

JOB NO:	21.196
SCALE:	1" = 100'
DRAWN BY:	MES
CHECKED BY:	MES
DATE:	02/24/2022
EXHIBIT NUMBER:	

DW-2-L



Legend	
5/8" Rebar	○
Iron Nail	○
1/2" Rebar	○
PI Nail Found	●
X in Conn. Found	×
Water Valve	⊕
Fire Hydrant	⊕
Sewer Manhole	⊕
Utility Pole	⊕
Sanitary Sewer Line	—SS—
Water Line	—W—
Fiber Optic	—FO—
Overhead Electric Line	—E—
Edge of Pavement	—E/P—
Fence	—X—
Property Line	— — — — —

NOTES

- FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 45051C 0566H EFFECTIVE DATE Aug. 23, 1999 INDICATES THAT THE SUBJECT PROPERTY LIES IN FLOOD ZONE "X"
- SITE REQUIREMENTS
ZONING ?
- No observed evidence of current earth moving work, building construction or building additions during the course of performing the field work.
- No proposed changes in street right of way lines, recent street or sidewalk construction or repairs during the course of performing the field work.
- No observed evidence of site use as a solid waste dump, pump or sanitary landfill during the course of performing the field work.
- Subject Property abuts Water Tower Road a public R/W.
- No observed evidence of Encroachments or Projections.

LEGAL DESCRIPTION

All that certain piece, parcel or tract of land, situate, lying, and being in the City of North Myrtle Beach, County of Horry, State of South Carolina, being shown and defined as NEWTRACT containing 47.10 AC., 2,051,676 SF on an ALTA/NSPS Land Title Survey prepared for Edgewater Industrial, LLC by William E. Hayes, PLS #15186, dated December 28, 2021.

Beginning at a 5/8" Rebar shown as (P.O.B.) on the southern Right-of-Way of Water Tower Road at the common Property Corner between Apache Properties and Henry Road West, LLC
 thence turning and running along an existing Property Line between Apache Properties and Henry Road West, LLC S 06°26'37" E for a distance of 897.14' to a 1/2" Rebar.
 thence turning and running along a new Property Line between NEWTRACT and Henry Road West, LLC S 63°47'54" W for a distance of 1743.38' to a 1/2" Rebar.
 thence turning and running along a new Property Line between NEWTRACT and Henry Road West, LLC N 22°48'19" W for a distance of 1001.63' to a 1/2" Rebar.
 thence turning and running along a new Property Line between NEWTRACT and Henry Road West, LLC N 26°26'36" W for a distance of 100.18 to a 1/2" Rebar.
 thence turning and running along a new Property Line between NEWTRACT and Henry Road West, LLC N 59°25'16" W for a distance of 74.76 to a 1/2" Rebar on the southern Right-of-Way of Water Tower Road
 thence turning and running along the southern Right-of-Way of Water Tower Road along a curve to the right to a 5/8" Rebar as follows:

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C-1	383.96	1382.30	15°54'54"	382.73	N62°00'14"E

 thence continuing along the southern Right-of-Way of Water Tower Road N 69°58'47" E for a distance of 151.22' to a 1/2" Rebar
 thence continuing along the southern Right-of-Way of Water Tower Road along a curve to the left to a 5/8" Rebar as follows:

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C-2	298.06	5780.00	2°57'16"	298.02	N69°08'25"E

 thence continuing along the southern Right-of-Way of Water Tower Road N 67°44'41" E for a distance of 349.61' to a 5/8" Rebar
 thence continuing along the southern Right-of-Way of Water Tower Road along a curve to the right to a 5/8" Rebar as follows:

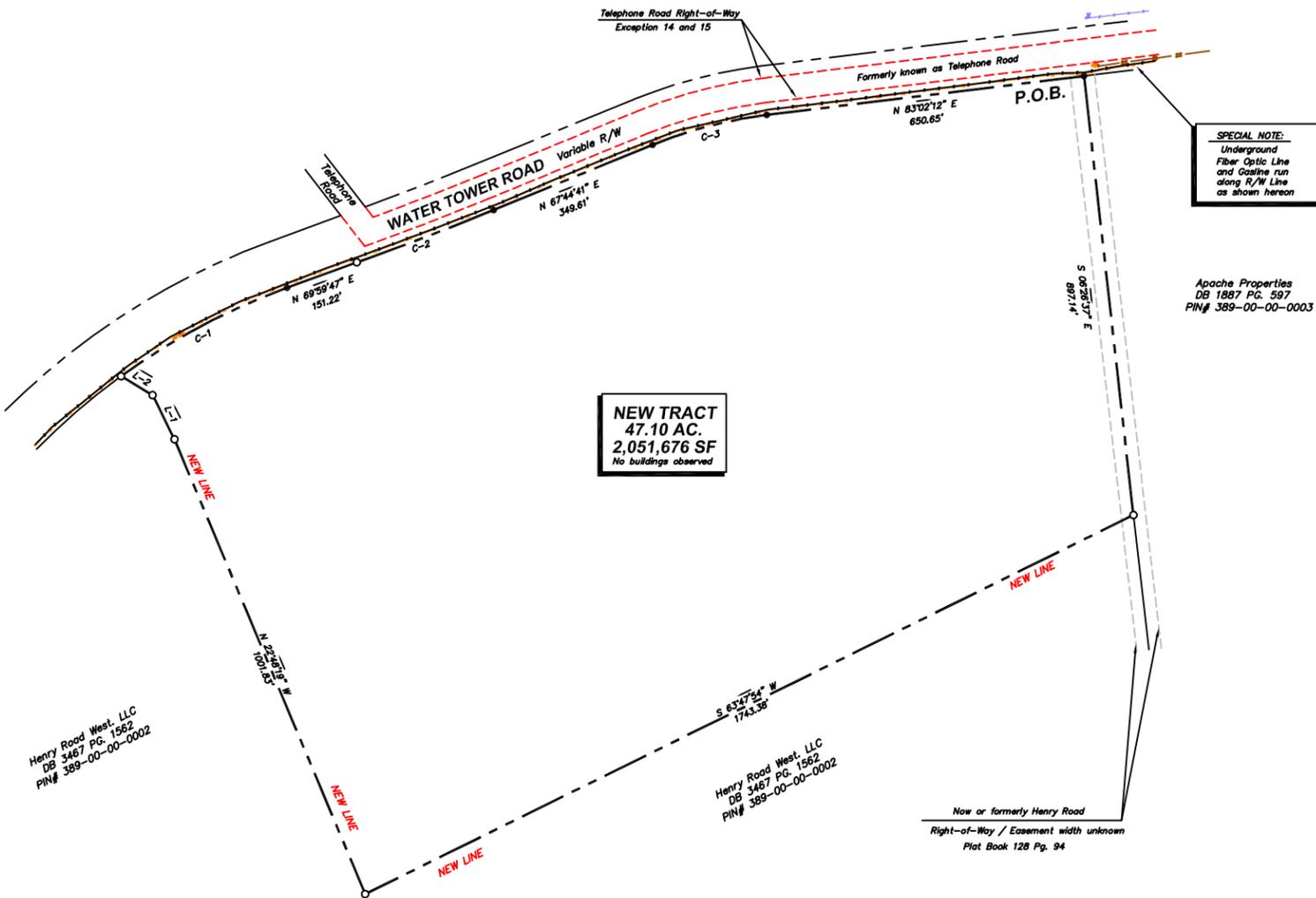
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C-3	241.20	905.07	15°16'09"	240.49	N75°21'11"E

 thence continuing along the southern Right-of-Way of Water Tower Road N 83°02'12" E for a distance of 650.65' to a 5/8" Rebar at the place and Point of Beginning (P.O.B.)

LINE TABLE					
LINE	LENGTH	BEARING			
L-1	100.18	N26°26'36"W			
L-2	74.76	N59°25'16"W			

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C-1	383.96	1382.30	15°54'54"	382.73	N62°00'14"E
C-2	298.06	5780.00	2°57'16"	298.02	N69°08'25"E
C-3	241.20	905.07	15°16'09"	240.49	N75°21'11"E

GOEDTIC AND STATE GRID POINT DATA
 Horizontal Datum: NAD83 (2011)
 Vertical Datum: NAVD88
 Coordinate Derivation : GPS
 Combined Reduction Factor: 0.99980056
 Measurements shown are field survey distances



NEW TRACT
 47.10 AC.
 2,051,676 SF
 No buildings observed

SPECIAL NOTE:
 Underground Fiber Optic Line and Gasline run along R/W Line as shown hereon

Apache Properties
 DB 1887 PG. 597
 PIN# 389-00-00-0003

Henry Road West, LLC
 DB 3467 PG. 1562
 PIN# 389-00-00-0002

Henry Road West, LLC
 DB 3467 PG. 1562
 PIN# 389-00-00-0002

Now or formerly Henry Road
 Right-of-Way / Easement width unknown
 Plat Book 128 Pg. 94

SCHEDULE B, SECTION II - EXCEPTIONS

Chicago Title Insurance Company Commitment No. 21-SC-00133 Commitment Date: November 2, 2021 at 12:00 AM

- Easement(s) and/or Right(s) of Way to Horry Electric Cooperative, Inc. recorded in Book 4200, Page 2270, Horry County Registry. DOES NOT AFFECT THE SURVEYED PROPERTY
- That certain Grant of Communications Systems Right-of-way and Easement to AT&T Corp. recorded in Deed Book 3595, Page 2640, Horry County Registry. DOES NOT AFFECT THE SURVEYED PROPERTY
- That certain Easement to Myrtle Beach National Company, CW Hills, LLC, RW Hills, and JW Holiday Family, LLC recorded in Deed Book 2989, Page 705, Horry County Registry. DOES NOT AFFECT THE SURVEYED PROPERTY
- That certain Land Entry Agreement for Land Leased by Mine Operator dated July 23, 2002 and recorded December 6, 2002 in Deed Book 2544, Page 1186, Horry County Registry. DOES NOT AFFECT THE SURVEYED PROPERTY
- Those certain reservations, conditions, restrictions and royalty rights as contained in that certain deed from International Paper Realty Corporation to William E. Copeland, Jr. and G. Steven Doss dated December 27, 1996 and recorded December 29, 1993 in Deed Book 1692, Page 12 and by Corrective Deed dated June 1, 1994 and recorded August 20, 1994 in Deed Book 1753, Page 282, Horry County Registry. SHOWN HEREBON
- Terms and Conditions of that easement described as the Easement Estate portion of the Land in Schedule A. SHOWN HEREBON
- Any discrepancy, conflict, matters regarding access, shortage in area or boundary lines, encroachments, encumbrance, violation, overlap, setback, easements or claims of easement, riparian right, and title to land within roadways, railroads, water courses, burial grounds, marshes, dredged or filled areas or land below the mean high water mark or within the bounds any adjoining body of water, or other adverse circumstance affecting the Title that would be disclosed by a current inspection and accurate and complete land survey of the land. SHOWN HEREBON

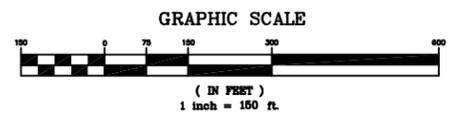
PALMETTO UTILITY LOCATION SERVICE
 A ONE CALL SYSTEM FOR COMMUNITY AND JOB SAFETY
 3 DAYS BEFORE DIGGING CALL
 TOLL FREE DIAL 811
 THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN APPROXIMATE LOCATIONS ONLY. THERE MAY BE OTHER UNDERGROUND UTILITIES NOT SHOWN HEREON. THE SURVEYOR AND/OR ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN HEREON OR FOR ANY LOCATIONS NOT SHOWN HEREON. IN THE EVENT THAT ANY CONSTRUCTION OR GRADING WILL TAKE PLACE, IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES WITHIN THE LIMITS OF THE CONSTRUCTION OR ANY UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THE NEW CONSTRUCTION. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

WILLIAM E. HAYES
 Professional Land Surveyor
 1010 Sunset Drive
 Latta, S.C. 29565
 WEHPLS@AOL.COM
 843-841-6381
 SCPLS# 15186 NCPLS# L-3421

ALTA / NSPS LAND TITLE SURVEY
 Chicago Title Insurance Company Commitment No.: 21-SC-00133
 of
 a portion of PIN# 389-00-00-0002
 North Myrtle Beach - Horry County - South Carolina
 For:
Edgewater Industrial, LLC
PROPERTY ADDRESS ?

To
 Edgewater Industrial, LLC
 Henry Road West, LLC
 Chicago Title Insurance Company
 Standard Title, LLC
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1,2,3,4, 6, 7,8,9,11,13,14,16 and 17 of Table A thereof. The field work was completed on December 28, 2021.
 Date of Plat or Map: December 28, 2021
 Registration/License No. SCPLS # 15186

I hereby state to the best of my knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the minimum standards manual for the practice of land surveying in South Carolina, and meets or exceeds the requirements for a Class "A" survey as specified therein; that there are no visible encroachments or projections other than shown.
 Date: Dec. 28, 2021
 WILLIAM E. HAYES, PLS 15186



3/17/2022 1:49 PM
L:\USERS\SEAN HOELSCHER\WORK\DRG\EXHIBIT3_16_22B.DWG

EXISTING

PROPOSED



DEVELOPMENT RESOURCE GROUP, LLC
4703 OLEANDER DRIVE
MYRTLE BEACH, SC 29577
843-839-3350 | DRGPLLC.COM

POLICE/FIRE/RESCUE
+/- 3.09 AC

UPS DISTRIBUTION
COMMERCIAL-1A

LIMITED
COM

WATERTOWER RD.

COMMERCIAL-2

POND

POLICE/FIRE/RESCUE
+/- 6.34 AC

UPS DISTRIBUTION
COMMERCIAL-1A

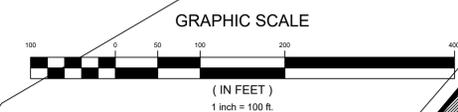
LIMITED
CO

SHARED DRIVE

WATERTOWER RD.

COMMERCIAL-2

POND



FIRE STATION/SHARED DRIVEWAY
EXHIBIT

PARKWAY PDD

JOB NO:	21.196
SCALE:	1"=100'
DRAWN BY:	SCH
CHECKED BY:	SCH
DATE:	3/10/2022
EXHIBIT NUMBER:	

3/17/2022 3:13 PM

L:\USERS\SEAN.HOELSCHER\WORK\DRG\EXHIBIT3.17.22.DWG

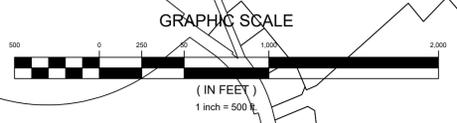
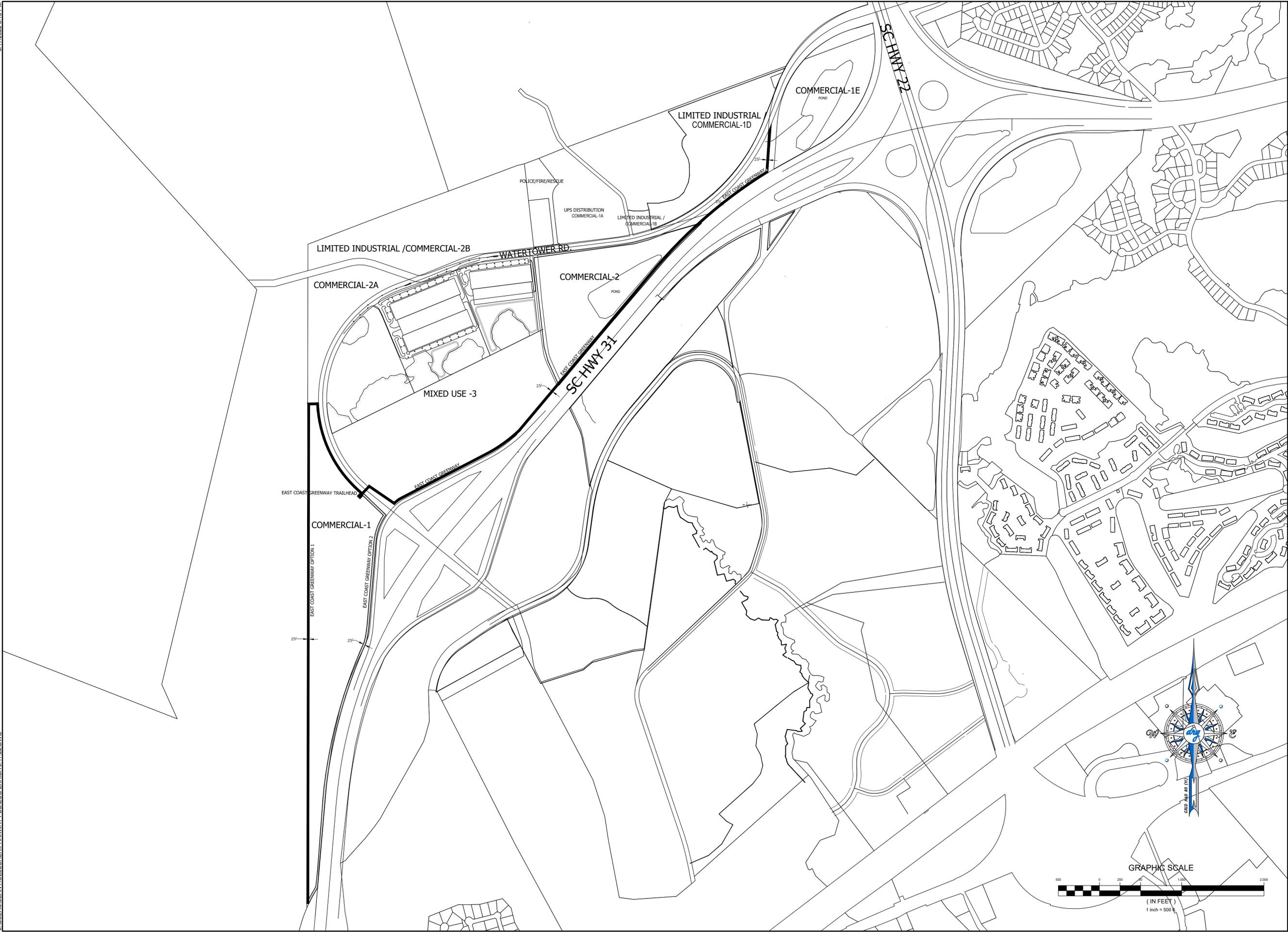


DEVELOPMENT RESOURCE GROUP, LLC
4703 OLEANDER DRIVE
MYRTLE BEACH, SC 29577
843-839-3350 | DRGPLLC.COM

EAST COAST GREENWAY ALIGNMENT

PARKWAY PDD

JOB NO:	21.196
SCALE:	1"=500'
DRAWN BY:	SCH
CHECKED BY:	SCH
DATE:	3/10/2022
EXHIBIT NUMBER:	





DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS, CHARLESTON DISTRICT
1949 INDUSTRIAL PARK ROAD ROOM 140
CONWAY, SOUTH CAROLINA 29526

November 23, 2021

Regulatory Division

Mr. Charles Oates
S&ME Inc.
1330 Highway 501 Business
Conway, South Carolina 29526
coates@thebrigmancompany.com

Dear Mr. Oates:

This is in response to your request for a Delineation Concurrence (SAC-2021-01869), received in our office on October 14, 2021, for a 69.31-acre site located south of and adjacent to Water Tower Road, North Myrtle Beach, Horry County, South Carolina (Latitude: 33.8045°, Longitude: -78.7998°).

The review area is part of an overall project known as Water Tower Road DC. Based on a review of the information you submitted, the delineated boundaries depicted on the plat titled "WETLANDS DELINEATION/ SURVEY OF A PORTION OF/ **HENRY ROAD WEST/ TRACT 2**/ PREPARED FOR: HENRY ROAD WEST, LLC/ DOGWOOD NECK TOWNSHIP/ HORRY COUNTY SOUTH CAROLINA" and dated September 17, 2021, are a reasonable representation of the aquatic resources located onsite.

This information is sufficient for planning and permitting purposes with our office. Unless otherwise requested, no further correspondence will be forthcoming regarding this request.

In all future correspondence, please refer to file number SAC-2021-01869. A copy of this letter is forwarded to State and/or Federal agencies for their information. If you have any questions, please contact Megan N. Jackson, Project Manager, at (843) 365-4239, or by email at Megan.N.Jackson@usace.army.mil.

Sincerely,

A handwritten signature in black ink that reads "Megan N. Jackson".

Megan N. Jackson
Project Manager

Enclosures:

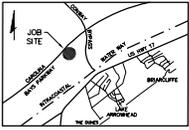
WETLANDS DELINEATION/ SURVEY OF A PORTION OF/ HENRY ROAD WEST/
TRACT 2/ PREPARED FOR: HENRY ROAD WEST, LLC/ DOGWOOD NECK
TOWNSHIP/ HORRY COUNTY SOUTH CAROLINA

Copies Furnished:

Mr. Keith Hinson
Henry Road West
4705-A Oleander Drive
Myrtle Beach, South Carolina 29577
keith@wacclt.com

SC DHEC - Bureau of Water
2600 Bull Street
Columbia, South Carolina 29201
WQCWetlands@dhec.sc.gov

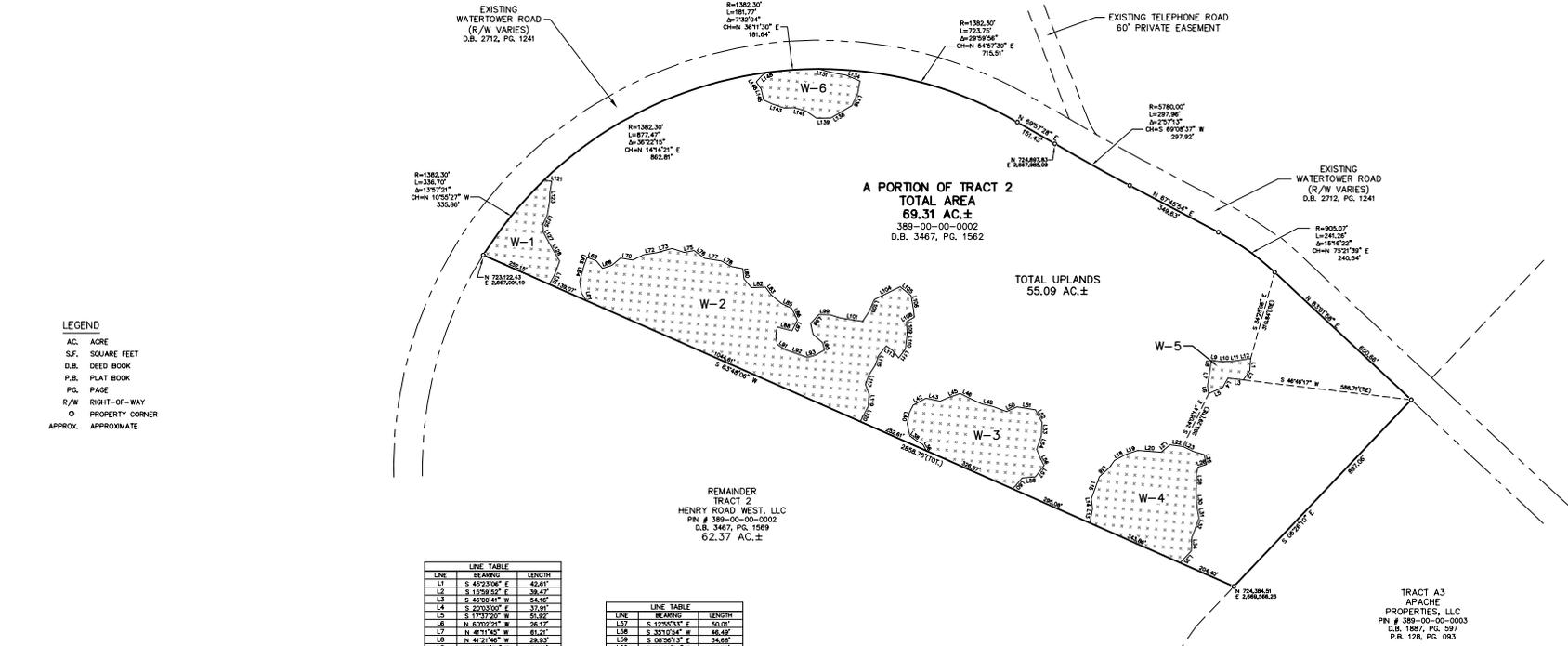
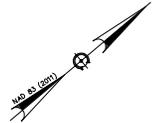
SC DHEC - OCRM
1362 McMillan Avenue, Suite 400
North Charleston, South Carolina 29405
OCRMPermitting@dhec.sc.gov



VICINITY MAP
(NOT TO SCALE)



J. JASON COX
SOUTH CAROLINA PROFESSIONAL
LAND SURVEYOR LICENSE NO. 26990



- LEGEND**
- AC. ACRE
 - S.F. SQUARE FEET
 - D.B. DEED BOOK
 - P.L. PLAT BOOK
 - P.C. PAGE
 - R/W RIGHT-OF-WAY
 - PROPERTY CORNER
 - APPROX. APPROXIMATE

- REFERENCE MAPS:**
- 1) TITLED SURVEY OF HENRY ROAD WEST TRACT FOR HENRY ROAD WEST, LLC DATED AUGUST 1, 2012 BY THIS OFFICE.
 - 2) TITLED SURVEY OF HENRY ROAD WEST TRACT FOR HENRY ROAD WEST, LLC DATED AUGUST 1, 2012 BY THIS OFFICE.
 - 3) TITLED SURVEY OF HENRY ROAD WEST TRACT FOR HENRY ROAD WEST, LLC DATED AUGUST 1, 2012 BY THIS OFFICE.
 - 4) TITLED SURVEY OF HENRY ROAD WEST TRACT FOR HENRY ROAD WEST, LLC DATED AUGUST 1, 2012 BY THIS OFFICE.
 - 5) TITLED SURVEY OF HENRY ROAD WEST TRACT FOR HENRY ROAD WEST, LLC DATED AUGUST 1, 2012 BY THIS OFFICE.
 - 6) TITLED SURVEY OF HENRY ROAD WEST TRACT FOR HENRY ROAD WEST, LLC DATED AUGUST 1, 2012 BY THIS OFFICE.
 - 7) TITLED SURVEY OF HENRY ROAD WEST TRACT FOR HENRY ROAD WEST, LLC DATED AUGUST 1, 2012 BY THIS OFFICE.
 - 8) TITLED SURVEY OF HENRY ROAD WEST TRACT FOR HENRY ROAD WEST, LLC DATED AUGUST 1, 2012 BY THIS OFFICE.
 - 9) TITLED SURVEY OF HENRY ROAD WEST TRACT FOR HENRY ROAD WEST, LLC DATED AUGUST 1, 2012 BY THIS OFFICE.
 - 10) TITLED SURVEY OF HENRY ROAD WEST TRACT FOR HENRY ROAD WEST, LLC DATED AUGUST 1, 2012 BY THIS OFFICE.
 - 11) TITLED SURVEY OF HENRY ROAD WEST TRACT FOR HENRY ROAD WEST, LLC DATED AUGUST 1, 2012 BY THIS OFFICE.
 - 12) TITLED SURVEY OF HENRY ROAD WEST TRACT FOR HENRY ROAD WEST, LLC DATED AUGUST 1, 2012 BY THIS OFFICE.
 - 13) TITLED SURVEY OF HENRY ROAD WEST TRACT FOR HENRY ROAD WEST, LLC DATED AUGUST 1, 2012 BY THIS OFFICE.

LINE	BEARING	LENGTH
L1	S 82.0338° E	48.61
L2	S 10.9915° E	38.47
L3	S 48.3041° W	54.16
L4	S 40.0000° E	31.95
L5	S 17.9700° W	51.89
L6	N 80.0000° W	26.17
L7	N 41.1450° W	66.21
L8	N 47.5640° W	28.83
L9	N 49.5834° E	31.12
L10	N 38.5500° E	61.15
L11	N 34.3730° E	28.87
L12	N 28.1370° E	38.44
L13	N 30.0000° W	31.45
L14	N 36.5000° W	30.03
L15	N 30.1130° E	60.06
L16	N 09.3048° W	47.62
L17	N 18.0000° E	30.44
L18	N 11.4843° E	43.77
L19	N 18.0000° E	44.84
L20	N 44.2131° E	60.32
L21	N 07.0646° W	60.33
L22	N 48.0000° E	45.40
L23	N 48.0000° E	45.40
L24	N 50.2354° E	33.74
L25	S 43.5315° E	38.95
L26	S 24.6057° E	31.12
L27	S 30.0000° E	26.08
L28	S 30.0000° E	60.00
L29	S 47.9418° E	28.00
L30	S 30.0000° E	49.00
L31	S 57.5444° E	38.00
L32	S 30.0000° E	37.00
L33	S 28.5208° E	33.73
L34	S 48.0000° E	45.40
L35	S 08.3041° E	54.89
L36	N 28.2738° W	28.99
L37	S 48.0000° E	45.40
L38	S 77.2211° W	26.00
L39	S 48.0000° E	45.40
L40	N 38.2450° W	38.89
L41	N 30.0000° E	37.77
L42	N 17.2467° E	56.83
L43	N 30.0000° E	44.80
L44	N 17.2467° E	33.74
L45	N 38.5500° E	61.15
L46	N 48.2830° E	44.59
L47	N 38.5500° E	61.15
L48	N 53.2720° E	38.27
L49	N 30.0000° E	38.00
L50	N 20.2743° E	55.49
L51	N 38.5500° E	61.15
L52	N 48.2830° E	44.59
L53	S 47.1244° E	47.73
L54	S 22.0000° E	31.00
L55	S 22.0000° E	28.89
L56	S 78.2254° E	31.48

LINE	BEARING	LENGTH
L57	S 12.0000° E	50.00
L58	S 33.1034° W	46.49
L59	S 08.0000° E	16.89
L60	S 08.0000° E	16.89
L61	N 34.0000° W	15.87
L62	N 81.4701° W	18.96
L63	N 50.1241° E	41.68
L64	N 34.0000° W	15.89
L65	N 28.1370° E	38.44
L66	N 00.0000° E	30.00
L67	N 88.9930° E	30.00
L68	N 33.0000° E	45.00
L69	N 00.0000° E	30.00
L70	N 48.0000° E	45.40
L71	N 14.5700° E	42.89
L72	N 31.7000° E	40.00
L73	N 24.5320° E	44.97
L74	N 31.7000° E	36.00
L75	N 17.3040° E	41.43
L76	N 28.1370° E	38.44
L77	N 26.1370° E	46.89
L78	N 49.1544° E	38.84
L79	N 48.0000° E	45.40
L80	S 57.5444° E	38.44
L81	N 48.0000° E	45.40
L82	N 38.5500° E	61.15
L83	N 38.5500° E	61.15
L84	N 30.0000° E	45.40
L85	N 48.0000° E	45.40
L86	S 78.2818° E	45.40
L87	S 24.6057° E	27.68
L88	S 48.0000° E	45.40
L89	S 20.2743° E	38.59
L90	S 30.0000° E	38.00
L91	N 42.0000° E	32.24
L92	N 30.0000° E	37.67
L93	N 30.0000° E	37.67
L94	N 30.0000° E	37.67
L95	N 30.0000° E	37.67
L96	N 30.0000° E	37.67
L97	N 30.0000° E	37.67
L98	N 30.0000° E	37.67
L99	N 30.0000° E	37.67
L100	N 30.0000° E	37.67
L101	N 30.0000° E	37.67
L102	N 30.0000° E	37.67
L103	N 30.0000° E	37.67
L104	N 30.0000° E	37.67
L105	N 30.0000° E	37.67
L106	N 30.0000° E	37.67
L107	N 30.0000° E	37.67
L108	N 30.0000° E	37.67
L109	N 30.0000° E	37.67
L110	N 30.0000° E	37.67
L111	N 30.0000° E	37.67
L112	N 30.0000° E	37.67
L113	N 30.0000° E	37.67
L114	N 30.0000° E	37.67
L115	N 30.0000° E	37.67
L116	N 30.0000° E	37.67
L117	N 30.0000° E	37.67
L118	N 30.0000° E	37.67
L119	N 30.0000° E	37.67
L120	N 30.0000° E	37.67
L121	N 30.0000° E	37.67
L122	N 30.0000° E	37.67
L123	N 30.0000° E	37.67
L124	N 30.0000° E	37.67
L125	N 30.0000° E	37.67
L126	N 30.0000° E	37.67
L127	N 30.0000° E	37.67
L128	N 30.0000° E	37.67
L129	N 30.0000° E	37.67
L130	N 30.0000° E	37.67
L131	N 30.0000° E	37.67
L132	N 30.0000° E	37.67
L133	N 30.0000° E	37.67
L134	N 30.0000° E	37.67
L135	N 30.0000° E	37.67
L136	N 30.0000° E	37.67
L137	N 30.0000° E	37.67
L138	N 30.0000° E	37.67
L139	N 30.0000° E	37.67
L140	N 30.0000° E	37.67
L141	N 30.0000° E	37.67
L142	N 30.0000° E	37.67
L143	N 30.0000° E	37.67
L144	N 30.0000° E	37.67
L145	N 30.0000° E	37.67
L146	N 30.0000° E	37.67
L147	N 30.0000° E	37.67
L148	N 30.0000° E	37.67

LINE	BEARING	LENGTH
L149	N 30.0000° E	37.67
L150	N 30.0000° E	37.67
L151	N 30.0000° E	37.67
L152	N 30.0000° E	37.67
L153	N 30.0000° E	37.67
L154	N 30.0000° E	37.67
L155	N 30.0000° E	37.67
L156	N 30.0000° E	37.67
L157	N 30.0000° E	37.67
L158	N 30.0000° E	37.67
L159	N 30.0000° E	37.67
L160	N 30.0000° E	37.67
L161	N 30.0000° E	37.67
L162	N 30.0000° E	37.67
L163	N 30.0000° E	37.67
L164	N 30.0000° E	37.67
L165	N 30.0000° E	37.67
L166	N 30.0000° E	37.67
L167	N 30.0000° E	37.67
L168	N 30.0000° E	37.67
L169	N 30.0000° E	37.67
L170	N 30.0000° E	37.67
L171	N 30.0000° E	37.67
L172	N 30.0000° E	37.67
L173	N 30.0000° E	37.67
L174	N 30.0000° E	37.67
L175	N 30.0000° E	37.67
L176	N 30.0000° E	37.67
L177	N 30.0000° E	37.67
L178	N 30.0000° E	37.67
L179	N 30.0000° E	37.67
L180	N 30.0000° E	37.67
L181	N 30.0000° E	37.67
L182	N 30.0000° E	37.67
L183	N 30.0000° E	37.67
L184	N 30.0000° E	37.67
L185	N 30.0000° E	37.67
L186	N 30.0000° E	37.67
L187	N 30.0000° E	37.67
L188	N 30.0000° E	37.67
L189	N 30.0000° E	37.67
L190	N 30.0000° E	37.67
L191	N 30.0000° E	37.67
L192	N 30.0000° E	37.67
L193	N 30.0000° E	37.67
L194	N 30.0000° E	37.67
L195	N 30.0000° E	37.67
L196	N 30.0000° E	37.67
L197	N 30.0000° E	37.67
L198	N 30.0000° E	37.67
L199	N 30.0000° E	37.67
L200	N 30.0000° E	37.67

WETLANDS	AC.±	TOTAL WETLANDS	AC.±
W-1	1.10	14.22	14.22
W-2	6.88	14.22	14.22
W-3	2.36	14.22	14.22
W-4	2.61	14.22	14.22
W-5	0.25	14.22	14.22
W-6	1.02	14.22	14.22
TOTAL WETLANDS	14.22	14.22	14.22
TOTAL UPLANDS	55.09	55.09	55.09
TOTAL AREA	69.31	69.31	69.31

WETLANDS DELINEATION
SURVEY OF A PORTION OF
HENRY ROAD WEST
TRACT 2
PREPARED FOR:
HENRY ROAD WEST, LLC
DOGWOOD NECK TOWNSHIP
HORRY COUNTY SOUTH CAROLINA
200 0 100 200 400
SCALE: 1 INCH = 200 FEET
SURVEYED & MAPPED BY
Cox SURVEYORS & ASSOCIATES
A LIMITED LIABILITY COMPANY
4325 DICK POND ROAD, SUITE A
MYRTLE BEACH, SC 29588 (843) 650-1500
www.coxsurveyors.com
www.coxsurveyors.com
DRAWN BY ANE FIELD DATE 09/20/21
REVIEWED JSC PLAT DATE 09/27/21
CREW CHIEF CIB FIELD BOOK CSA-282

5B. MASTER DEVELOPMENT AGREEMENT AMENDMENT: Separate and Independent Amendment to the Master Development Agreement associated with the Parkway Group Planned Development District.

The North Myrtle Beach Planning Commission will host the first of two public hearings regarding the proposed Separate and Independent Amendment to the Master Development Agreement associated with the major amendment to the Parkway Group PDD [Z-22-2]. The Separate and Independent Amendment is associated with a proposal to create the Palmetto Coast Industrial Park in a portion of the Henry Road West and Apache tracts.

The entire Parkway Group PDD property consists of approximately 1,362 acres, comprising multiple tracts of land, generally located on the southeastern corner of the intersection of Highway 31 and Highway 22 and extending to the Intracoastal Waterway bordering the Grande Dunes development in the City of Myrtle Beach. The specific property under review is known as portions of Henry Road West and Apache and are vacant, wooded tracts of land.

The City, Canal Land and Timber, LLC, and Myrtle Beach Power Sports, Inc, entered into a Master Development Agreement on January 9, 2009, recorded January 20, 2009, covering approximately 1,362 acres of private property.

The original Master Development Agreement was previously amended and recorded on March 24, 2020.

The proposed Separate and Independent Amendment to the Master Development Agreement is in response to a request to amend the PDD by proposing an industrial/warehouse type use with 514,500 sq. ft of building space on 69.3 of approximately 338 acres and approximately 268 acres provides for the following:

ITEMS of NOTE

1. Applies to a portion of the Henry Road West tract, PIN# 389-00-00-0002 (69.3 acres), and entire Apache tract, PIN# 389-00-00-0003 (268.10 acres). All other terms, conditions, and provisions of the Master Development Agreement shall remain in full force and effect.
2. Duration of this agreement is effective for twenty years ending January 8, 2029.

FEES and PUBLIC BENEFITS

1. Developer to install sidewalk and street trees along Water Tower Road or provide \$105,000 in two equal and separate installments on or before the issuance of building permits for buildings 1 and 2 (\$52,500 respectively).
2. Park Enhancement and Beach Parking Fees otherwise assessed for residential units waived in lieu of providing 2 acres of public parkland adjacent to Water Tower Road planned as a future trailhead and parking area for future East Coast Greenway use. The original 5.5 acres of public parkland anticipated in the far corner of the parcel is encumbered by wetlands. Conveyance of the parcel of land will occur within 90 days from the final approval of this agreement.
3. Realignment of the East Coast Greenway trail alignment away from Water Tower Road to avoid conflicts between trail users and heavy truck traffic. Contribution of a 25' perpetual public access easement or right-of-way to accommodate the East Coast Greenway. The path is planned to be 12' wide and would be improved in the future. Conveyance of the parcel of land will occur within 90 days from the final approval of this agreement.

4. Simultaneous exchange of land for a future fire station. The new fire station will be relocated to an adjacent parcel of land with access via Hunt Club Drive. The presence of jurisdictional wetlands on the original parcel prevents the intended use. Simultaneous conveyance of the parcel of land will occur within 90 days of the final approval of this agreement.
5. The roadway to serve the original parcel of land reserved for a future public safety station would be obsolete due to the land exchange. Instead, a shared driveway for access between Henry Road West and Apache tract will be constructed.
6. Developer is relieved of any obligation to fund the off-site traffic circle for the portion of Henry Road West under consideration.

The Planning Commission's role in Development Agreements is limited to HOSTING the first of two required public hearings. Planning Commission will take no action and will not vote on the Separate and Independent Amendment to the Master Development Agreement but may offer comments for City Council's consideration. After hosting the public hearing, a second public hearing, first reading of ordinance, will take place at the City Council meeting anticipated to occur on April 4, 2022.

STATE OF SOUTH CAROLINA)
)
)
COUNTY OF HORRY)

**SEPARATE AND INDEPENDENT
AMENDMENT TO THE MASTER
DEVELOPMENT AGREEMENT
(Palmetto Industrial Park)**

THIS SEPARATE AND INDEPENDENT AMENDMENT TO THE MASTER DEVELOPMENT AGREEMENT (this “Agreement”) entered into by and among the **CITY OF NORTH MYRTLE BEACH, SOUTH CAROLINA** (the “City”), a South Carolina municipal corporation, **HENRY ROAD WEST, LLC**, a South Carolina limited liability company (“Henry Road”) and **APACHE PROPERTIES, LLC**, a South Carolina limited liability company (“Apache”).

RECITALS:

WHEREAS, the City, Henry Road, Reach 9, LLC, a South Carolina limited liability company (“Reach 9”), Apache Properties, LLC, a South Carolina limited liability company (“Apache”), RW Hills, LLC, a South Carolina limited liability company (“RW”), CW Hills, LLC, a South Carolina limited liability company (“CW”), JW Holiday Family, LLC, a South Carolina limited liability company (“Holiday”), Myrtle Beach National Company (“MB National”), Seashore Farms, LLC, a South Carolina limited liability company (“Seashore”) and LL Chestnut, LLC, a purported South Carolina limited liability company (“LL Chestnut”) entered into that certain Master Development Agreement, dated January 9, 2009, recorded January 20, 2009 in Deed Book 3382 at Page 3357, and re-recorded in Deed Book 3383 at Page 1662 to include signature pages, all in the public records of Horry County, South Carolina (the “Master Development Agreement”); and

WHEREAS, the Master Development Agreement as amended, by the City and the then current owners of all of the Land which is subject to the Master Development Agreement, by that certain First Amendment to Master Development Agreement, dated March 23, 2020 and effective December 16, 2019, recorded March 24, 2020 in Deed Book 4298 at Page 2823 to include all signature pages, in the public records of Horry County, South Carolina (the “First Master Amendment”), which First Master Amendment provided, among other things, for the negotiation by and between the City and any of the then current Landowners, of amendments to certain public benefits agreed to by the City and the Landowners, at the time of any proposed amendment to the Master Site Plan, or the PDD, by and individual Landowner, which amendments would be separate and independent of any other amendments, and applicable only to the portions of the Land owned by the Landowner, or its successors and assigns, proposing such amendment to the Master Site Plan or the PDD, which separate and independent amendment would be evidenced by a written amendment; and

WHEREAS, the Master Development Agreement and the First Master Amendment are hereinafter sometimes collectively referred to as the “Development Agreement”; and

WHEREAS, as a result of a scrivener’s error, LL Chestnut, which was never organized as a South Carolina limited liability company, and did not appear in the chain of title for any of the

properties subject to the Master Development Agreement, should have instead been referred to as J.B. Chestnut Limited Liability Company, a South Carolina limited liability company (“**JB Chestnut**”), which was the owner of record of the tract referred to in the Master Development Agreement as the “LL Chestnut Tract”; and

WHEREAS, the real property owned by Henry Road at the time of the Master Development Agreement and the First Master Amendment is herein referred to as the “**Henry Road Tract**”; and

WHEREAS, the real property owned by Apache at the time of the Master Development Agreement and the First Master Amendment is herein referred to as the “**Apache Tract**”; and

WHEREAS, Henry Road has proposed an amendment to the Master Site Plan and the PDD (collectively the “**PDD Amendment**”), for a portion of the real property owned by Henry Road, West of S.C. Highway 31, within the PDD, an unrecorded map of which is attached hereto as **Exhibit “A”** (the “**Amended Site Plan Parcel**”) which PDD Amendment is approved by the City simultaneously with the approval of this Agreement; and

WHEREAS, in addition, Henry Road and Apache have proposed a realignment of the proposed East Coast Greenway (the “**ECG**”) from the right-of-way of Water Tower Road, to a location on both the Henry Road Tract and the Apache Tract which minimizes the conflicts between pedestrians and bicycle traffic expected along the ECG, and the heavy truck traffic expected as a result of the proposed use for the Amended Site Plan Parcel, the route of such ECG being described herein, and as an exhibit to the PDD Amendment described above; and

WHEREAS, in addition, Apache has previously conveyed to the City, a portion of the Apache Tract intended for use as a fire and emergency services station, as described herein (the “**Original Fire Station Site**”), the City and Apache now being made aware of a significant and material portion of the Original Fire Station Site being classified as jurisdictional wetlands, Apache and the City have agreed to the exchange of the Original Fire Station Site, for a new parcel to be used as a fire and emergency services station, which is located at the current termination of Hunt Club Drive, near the existing United Parcel Services facility within the Parkway Group PDD, being described herein (the “**New Fire Station Site**”); and

WHEREAS, the City has previously required the improvement of a roadway to the Original Fire Station Site, which roadway would have been located partially on the Henry Road Tract and partially on the Apache Tract, provided however, that, as a result of the relocation of the proposed fire and emergency services station from the Original Fire Station Site to the New Fire Station Site, the need for such roadway is eliminated, and instead, Henry Road and Apache will agree to construct, or cause to construct, a shared driveway for access between the Henry Road Tract and the Apache Tract, as described herein; and

WHEREAS, Henry Road has also agreed to convey to the City, within Ninety (90) days of the final approval of this Amendment, as a portion of the relocated ECG, a parcel of approximately 2.0 acres, which is preferred by the City in lieu of the parcel of approximately 5.5 acres proposed for conveyance under the PDD, as initially approved, this 2.0 acre parcel being a portion of the Henry Road Tract (the “**ECG Trailhead Site**”), as described herein, in exchange for the waiver by the City

of any park enhancement fees or beach parking fees which would otherwise be assessed for residential properties within the Parkway Group PDD; and

WHEREAS, any portion of the Henry Road Tract or the Apache Tract which is not included in the Amended Site Plan Parcel, the New Fire Station Site, the ECG or the ECG Trailhead Site shall remain subject to the terms and provisions set forth in the Master Development Agreement, as amended by the First Master Amendment, shall not be subject to this Agreement, without further amendment except by one or more separate and independent amendments for the portions of the Henry Road Tract or the Apache Tract which are not included in the Amended Site Plan Parcel, the New Fire Station Site, the ECG or the ECG Trailhead Site;

WHEREAS, the Parties now desire to enter into a separate and independent amendment to the Development Agreement, in order to specify certain fees and obligations imposed by the City pursuant to the Development Agreement, as amended, which would only be applicable to the Amendment Site Plan Parcel portion of the PDD, in the manner set forth below.

NOW, THEREFORE, for and in consideration of the covenants and conditions herein, and the sum of Five and No/100 (\$5.00) Dollars, to each party by the other paid, the parties agree as follows:

1. **Continuing Encumbrance.** Despite any change in ownership and/or the configuration and boundaries of the various tracts subjected to the Development Agreement, as amended, and the Exhibits to the Development Agreement, previously subjected to the Development Agreement, as amended, by this Agreement, except as hereby expressly amended or supplemented, shall remain in full force and effect. Notwithstanding any change in ownership and/or the configuration or boundaries of the Henry Road Tract and the Apache Tract subjected to the Development Agreement, as amended, and the Exhibits attached to the Development Agreement, including but not limited to any Traffic Circle contributions or other contributions required thereunder, whether previously and currently encumbered by the Development Agreement, as amended by this Agreement, except as hereby expressly amended or supplemented, all terms and provisions of the Development Agreement relating to the Henry Road Tract or the Apache Tract, including any portion of the Henry Road Tract or the Apache Tract which is included in the Amended Site Plan Parcel, the New Fire Station Parcel, the ECG or the ECG Trailhead Site, shall remain in full force and effect (the “**Continuing Encumbrance**”).

2. **Amendment to Section 2.13.** In accordance with the Continuing Encumbrance provision contained herein and solely with respect to the Amended Site Plan Parcel, Section 2.13 of the Development Agreement, as amended, is further amended to delete any obligation for payment regarding the Traffic Circle, as defined in Section 2.13 with regards to the Amended Site Plan Parcel only, and to no other portion of the Henry Road Tract. The remaining portions of the Henry Road Tract not included in the Amended Site Plan Parcel would remain subject to any Traffic Circle payment obligation as previously set forth in the Development Agreement to the extent such payment remains outstanding or unpaid and consistent with the Continuing Encumbrance provision contained herein, specifically including all other fees or expenses otherwise due under the terms of the Development Agreement, as amended.

4. **Wetland/Wetland Buffer Maintenance.** In accordance with the Continuing Encumbrance provision contained herein, Henry Road acknowledges and agrees that the Amended Site Plan Parcel includes one or more jurisdictional wetlands which are located adjacent to Water Tower Road. Unless and until such wetlands are filled or otherwise mitigated to no longer remain classified as jurisdictional wetlands, Henry Road agrees that all on-site wetlands shall be surrounded with a minimum 20-foot wide water quality buffer within which no building shall occur. These buffer areas and the wetlands they surround shall be maintained in common ownership, shall remain natural except to the extent vegetation is mulched to maintain required sight triangle distances along Water Tower Road, provided, however, that Henry Road may elect to install a Ten (10) foot wide multi-purpose path within the boundary of such wetland buffer area.

5. **Improvements to Water Tower Road.** In accordance with the Continuing Encumbrance provision contained herein, Henry Road, or its successor in title to the Amended Site Plan Parcel only, as a condition to the improvement of the Amended Site Plan Parcel, shall, at the expense of the owner of the Amended Site Plan Parcel:

(A) Widen the paved section of Water Tower Road, within the existing public right-of-way of Water Tower Road, to accommodate turning movements (both acceleration and deceleration lanes), concurrently with the site work improvements for the first building within the Amended Site Plan Parcel, such improvements being either (i) complete; or (ii) bonded in accordance with the City's typically roadway improvement bonding standards, at or prior to the issuance of a certificate of occupancy for the first building within the Amended Site Plan Parcel.

(B) The City intends to improve Water Tower Road to comply with the Complete Streets portion of the City's land development regulations, provided however, that as of the date of this Amendment, the existing roadway section of Water Tower Road does not allow for installation of sidewalks or street trees, and therefore, in lieu of sidewalks and street trees being installed during the development of the Amended Site Plat Parcel, the owner of the Amended Site Plan Parcel, will contribute to the City, based upon an engineer's estimate approved by the City, an amount equal to One Hundred Five Thousand and No/100 (\$105,000.00) Dollars, in two separate and equal installments, the first of such installments due and payable on or before the issuance of the building permit of the first building within the Amended Site Plan Parcel, and the second of such installments due and payable on or before the issuance of the building permit for the second building within the Amendment Site Plan Parcel, to be used by the City for improvement of Water Tower Road.

(C) Henry Road and Apache shall convey to the City, platted as right-of-way or by perpetual easement, at the option of the City, to form a portion of the ECG, within Ninety (90) days of the final approval of this Amendment, that portion of the ECG which is located on the Henry Road Tract and the Apache Tract, respectively, being Twenty Five (25') feet in width, as shown and depicted on **Exhibit "C"** attached hereto.

(D) Henry Road shall convey to the City, within Ninety (90) days of the final approval of this Amendment, the ECG Trailhead Site, to form a portion of the ECG, such ECG Trailhead Site being shown and depicted on **Exhibit "C"** attached hereto.

(E) Apache shall convey to the City, within Ninety (90) days of the final approval of this Amendment, the New Fire Station Site, in exchange for the City's simultaneous conveyance of the Old Fire Station Site to Apache, each of the New Fire Station Site and the Old Fire Station Site being shown and depicted on **Exhibit "D"** attached hereto.

(F) Prior to the issuance of a certificate of occupancy for the expansion of the United Parcel Service site on the Apache Tract, or the proposed light industrial use on the Henry Road Tract, Henry Road and Apache will install the shared drive, being shown and depicted on **Exhibit "D"** attached hereto.

6. **Water Tank/Tower.** In accordance with the Continuing Encumbrance provision contained herein, Henry Road, or its successor in title to the Amended Site Plan Parcel, in order to accommodate any deficiency in the current capacity for water services to the Amended Site Plan Parcel to accommodate the intended use of the Amended Site Plan Parcel, shall have the right, but not the obligation, to install, on the Amended Site Plan Parcel, a water tank or water tower, of sufficiently capacity and in accordance with all regulatory requirements of the South Carolina Department of Health and Environmental Control, to serve the Amended Site Plan Parcel only, at the sole expense of the owner of the Amended Site Plan Parcel, as shown on the Master Site Plan for the Amended Site Plan Parcel, as defined in Section 7 below.

7. **Master Site Plan.** The master site plan for the Amended Site Plan Parcel, which is the same site plan incorporated in the PDD, as amended, is attached hereto as **Exhibit "B"** (the "**Master Site Plan**").

8. **Independent Amendment.** In accordance with the Continuing Encumbrance provision contained herein, this Separate and Independent Amendment to Master Development Agreement is intended to be applicable only to the Amended Site Plan Parcel, which is a portion of the Henry Road Tract, the ECG, which is a portion of the Henry Road Tract and the Apache Tract, the ECG Trailhead Site, which is a portion of the Henry Road Tract, the New Fire Station Site which is a portion of the Apache Tract, the Old Fire Station Site which is owned by the City, and the shared drive to be constructed on both the Henry Road Tract and the Apache Tract, and shall not be deemed applicable to any other portion of the Land which is subject to the Development Agreement, as amended, or to any other Landowner within the PDD, who is not a successor or assign of Henry Road and/or Apache.

8. **No Further Amendment.** In accordance with the Continuing Encumbrance provision contained herein, except as specifically amended by this Separate and Independent Amendment to Master Development Agreement all of the terms and conditions of the Development Agreement as amended, shall remain in full force, unless and until amended in a writing signed by all of the parties.

IN WITNESS WHEREOF, the Parties have executed this Agreement the date below their respective signatures.

[Individual signature pages follow for each of the Parties]

EXHIBIT "A"

Map of Amended Site Plan Parcel (Portion of the Henry Road Tract)

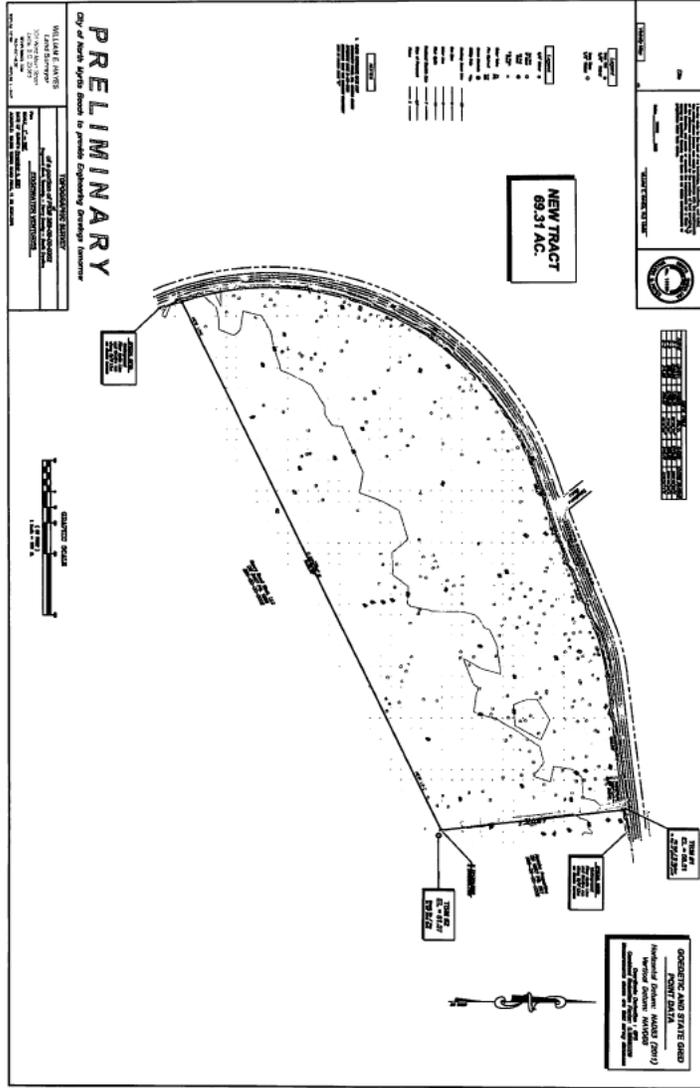


EXHIBIT “B”

Master Site Plan

[To be attached]

EXHIBIT “C”

Route for ECG and Trailhead Site Location

EXHIBIT "D"

Fire Station, Shared Drive Locations

6A. ANNEXATION & ZONING DESIGNATION Z-22-4: City staff received a petition to annex lands on Riverside Drive totaling ±0.46 acres and identified by PIN 311-16-04-0018. The lot is currently unincorporated and zoned Manufactured/Mobile Single-Family Residential (MSF 10) by Horry County. The petition also reflects the requested City of North Myrtle Beach zoning district of Single-Family Residential Low-Density (R-1) and will be heard concurrently.

Existing Conditions and Surrounding Land Uses:

The subject property area is contiguous to the corporate boundary of the City of North Myrtle Beach and is zoned MSF 10 Residential (MSF 10) under Horry County jurisdiction. Located on Riverside Drive, the parcel has a manufactured home located on it. Surrounding parcels within City limits are zoned Planned Development District (PDD) within the Hope Pointe PDD; adjacent unincorporated county parcels are zoned MSF 10.

Proposed R-1 Zoning:

		Single-family Dwelling	Churches	Other Permitted Uses
Minimum Site Area		10,000 SF	1 Acres	10,000 SF
Minimum Lot Width		80 feet	NA	NA
Minimum Yards:	Front	25 feet	25 feet	25 feet
	Side	10 feet ¹	25 feet	10 feet
	Rear	20 feet	25 feet	25 feet
Maximum Impervious Surface Ratio		40%	60%	40%
Maximum Height of Structures		35 feet (15 feet for Accessory Buildings)	45 feet	45 feet

Notes: ¹ A five-foot side yard setback shall be required for substandard lots of record.

Planning Commission Action:

As per the Zoning Ordinance Section 23-4, *Amendments*, the Planning Commission shall prepare a report and make recommendations on any proposed amendment to the North Myrtle Beach Zoning Ordinance, including the Zoning Map, stating its findings and its evaluation of the request. In making its report, the Commission shall consider the following factors:

- a) The relationship of the request to the Comprehensive Plan:

The Future Land Use map contained in the 2018 Comprehensive Plan recommends Residential Suburban as a land use class for the subject area. The principal permitted uses noted in the compliance index include primarily single-family lots, small farms and farm related uses such as produce stands, and mobile homes on individual lots. The recommended primary zoning district is R-1; R-1A and R-1B are the secondary zoning district alternatives.

The proposed zoning designation, R-1 (Single-Family Residential Low-Density), is a recommended zoning district within the Compliance Index for the subject property.

- b) Whether the request violates or supports the Plan:

Chapter 5, “The Way We Grow,” of the 2018 Comprehensive Plan identifies the Residential Suburban future land use classification as follows: The purpose of this classification is to define, protect, and provide low density, single-family detached housing areas where designated, and to prohibit any development that would compromise existing residential characteristics. In addition, these areas are intended to provide for in-fill and expansion of existing neighborhoods and subdivisions. Standards and densities for these areas are designated to reflect existing conditions. This area is also intended to allow incorporation of property west of the waterway at densities typical of inland development. Primarily single-family lots, small farms and farm related uses such

as produce stands, and mobile homes on individual lots, excluding large mobile home parks, are compatible uses here. This category allows up to five dwelling units per acre (du/acre).

The proposed R-1 zoning is consistent with the Residential Suburban land use classification found in the 2018 Comprehensive Plan.

- c) Whether the uses permitted by the proposed change would be appropriate in the area concerned:

The purpose of the R-1 zoning district is, "To preserve and protect the character of existing neighborhoods and subdivisions, and to prohibit any uses which would compromise or alter existing conditions and uses. Also, these districts are intended to encourage residential infilling and expansion of existing neighborhoods and subdivisions. Development land uses permitted in each are designed to reflect existing conditions and enhance the prospects of 'lie development.'"

The uses permitted in the R-1 district would be appropriate in the area.

- d) Whether adequate public-school facilities, roads and other public services exist or can be provided to serve the needs of the development likely to take place as a result of such change, and the consequence of such change:

Current public rights-of-way serve this area via the existing, county-maintained Riverside Drive.

- e) Whether the proposed change is in accord with any existing or proposed plans for providing public water supply and sanitary sewer to the area:

Water and sewer are available to the parcel.

As a matter of policy, no request to change the text of the ordinance or the map shall be acted upon favorably, except:

- (a) Where necessary to implement the comprehensive plan, or
- (b) To correct an original mistake or manifest error in the regulations or map, or
- (c) To recognize substantial change or changing conditions or circumstances in a particular locality, or
- (d) To recognize changes in technology, the style of living, or manner of doing business.

This petition for annexation and zoning designation is presented to the Planning Commission for a recommendation that will be forwarded to City Council at their next meeting scheduled for April 4, 2022. Should the Planning Commission desire to forward a positive recommendation to City Council, one of the reasons should be included in the report.

Staff Review:

Planning and Development, Planning Division

The Planning Division has no issue with the proposed petition for annexation and zoning.

Planning and Development, Zoning Division

The Zoning Administrator has no issue with the proposed petition for annexation and zoning.

Public Works

The City Engineer has no issue with the proposed petition for annexation and zoning.

Public Safety

The Fire Marshall has no issue with the proposed petition for annexation and zoning.

Planning Commission Action:

The Planning Commission may recommend approval, recommend approval with modifications and/or conditions; or recommend denial of the proposal, as submitted.

Alternative Motions

- 1) I move that the Planning Commission recommend approval of the annexation and zoning petition [Z-22-4] as submitted.

OR

- 2) I move that the Planning Commission recommend denial of the annexation and zoning petition [Z-22-4] as submitted.

OR

- 3) I move (an alternate motion).

FILE NUMBER:	Z-22-4
Complete Submittal Date:	February 21, 2022



Notice Published:	March 3, 2022
Planning Commission:	March 22, 2022
First Reading:	April 4, 2022
Second Reading:	May 2, 2022

City of North Myrtle Beach, SC

Petition for Annexation & Zoning

GENERAL INFORMATION	
Date of Request: February 21, 2022	Property PIN(S): 31116040018
Property Owner(s): SAPP KATHRYN H	Type of Zoning Map Amendment: Petition for Annexation and Zoning
Address or Location: 4813 Riverside Dr	Project Contact: Kathy Sapp
Contact Phone Number: 843-340-8592	Contact Email Address: ksapp@rocketmail.com
Current County Zoning: MSF10	Proposed Zoning: R-1
Total Area of Property: 0.46 Acres	Approximate Population of Area to be Annexed: 1
RECORDED COVENANT INFORMATION	
I hereby certify that the tract(s) or parcel(s) of land to which this approval request pertains is not restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity for which approval is sought, as provided in South Carolina Code of Laws (§ 6-29-1145). <i>Applicant's E-signature: <u>Kathy Sapp</u></i>	
This form complies with a state law that took effect on July 1, 2007 (S.C. Code § 6-29-1145) that requires all planning agencies to inquire in an application for a permit if the parcel of land is restricted by a recorded covenant that is contrary to, conflicts with, or prohibits the permitted activity. If such a covenant exists, the agency shall not issue the permit until written confirmation of its release is received. The release must be through the action of an appropriate legal authority.	

1018 2nd Avenue South · North Myrtle Beach, SC 29582 · Telephone: (843) 280-5566 · Facsimile: (843) 280-5581

31116040018 31116040016

STATE OF SOUTH CAROLINA)
) TITLE TO REAL ESTATE
COUNTY OF HORRY)
)

KNOW ALL MEN BY THESE PRESENTS, We, Kathryn H. Sapp, John D. Sapp, Jr., Alycia K. Sapp and Kara D. Sapp, in consideration of Ten and no/100 (\$10.00) dollars and love and affection and the receipt of which is hereby acknowledged, have granted, bargained, sold, and released, and by these presents do grant, bargain, sell and release unto Kathryn H. Sapp, her heirs and assigns forever, all of our interest in the following described real estate, to wit:

See Exhibit "A"

together with all and singular the rights, members, hereditaments and appurtenances to said premises belonging or in any wise incident or appertaining; to have and to hold all and singular the premises before mentioned unto the Grantee, and the Grantee's heirs or successors and assigns, forever. And, the Grantors do hereby bind the Grantors and the Grantors' heirs or successors, executors and administrators to warrant and forever defend all and singular said premises unto the Grantee and the Grantee's heirs or successors and against every person whomsoever lawfully claiming or to claim the same or any part thereof.

WITNESS the Grantors' hands and seals this 28th day of April, 2017

SIGNED, sealed and delivered in the presence of:

[Signature]
Witness
[Signature]
Witness
[Signature]
Witness
[Signature]
Witness
[Signature]
Witness
[Signature]
Witness

[Signature]
Kathryn H. Sapp
[Signature]
John D. Sapp, Jr.
[Signature]
Alycia K. Sapp
[Signature]
Kara D. Sapp

SOUTH CAROLINA)
COUNTY OF DILLON) AFFIDAVIT FOR TAXABLE OR EXEMPT TRANSFERS

PERSONALLY appeared before me the undersigned, who being duly sworn, deposes and says:

1. I have read the information on this affidavit and I understand such information.
2. The property being transferred is located in Horry County, State of South Carolina bearing Horry County Tax Map #131-17-01-014 and #131-17-01-003, was transferred by Kathryn H. Sapp, John D. Sapp, Jr., Alycia K. Sapp and Kara D. Sapp to Kathryn H. Sapp on April 28, 2017.
3. Check one of the following: The deed is
 - (a) subject to the deed recording fee as a transfer for consideration paid or to be paid in money or money's worth.
 - (b) _____ subject to the deed recording fee as a transfer between a corporation, a partnership, or other entity and a stockholder, partner, or owner of the entity, or is a transfer to a trust or as a distribution to a trust beneficiary.
 - (c) _____ exempt from the deed recording fee because (See Information section of affidavit):

(If exempt, please skip items 4-7, and go to item 8 of this affidavit.)

If exempt under exemption #14 as described in the Information section of this affidavit, did the agent and principal relationship exist at the time of the original sale and was the purpose of this relationship to purchase the realty?
Check Yes _____ or No _____

4. Check one of the following if either item 3(a) or item 3(b) above has been checked (See Information section of this affidavit.):
 - (a) _____ The fee is computed on the consideration paid or to be paid in money or money's worth in the amount of \$
 - (b) The fee is computed on the fair market value of the realty which is \$113,200.00
 - (c) _____ The fee is computed on the fair market value of the realty as established for property tax purposes which is \$
5. Check Yes _____ or No to the following: A lien or encumbrance existed on the land, tenement, or realty before the transfer remained on the land, tenement, or realty after the transfer. (This includes, pursuant to Code Section 12-59-140(E)(6), any lien or encumbrance on realty in possession of a forfeited land commission which may subsequently be waived or reduced after the transfer under a signed contract or agreement between the lien holder and the buyer existing before the transfer.) If "Yes," the amount of the outstanding balance of this lien or encumbrance is: \$

6. The Deed recording fee is computed as follows:

(a) Place the amount listed in Item 4 above here:	\$113,200.00
(b) Place the amount listed in Item 5 above here:	\$0.00
(If no amount is listed, place zero here.)	
(c) Subtract Line 6(b) from Line 6(a) and place result here:	\$113,200.00

7. The deed recording fee due is based on the amount listed on Line 6(c) above and the deed recording fee due is \$419.95
8. As required by Code Section 12-24-70, I state that I am a responsible person who was connected with the transaction as: Kathryn H. Sapp.
9. I understand that a person required to furnish this affidavit who willfully furnishes a false or fraudulent affidavit is guilty of a misdemeanor and, upon conviction, must be fined not more than One Thousand and 00/100 Dollars (\$1,000.00) or imprisoned not more than a year, or both.

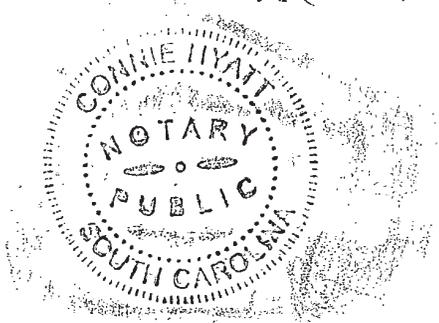
SWORN to and subscribed before me this

12th day of June 2017
Notary Public for South Carolina
My Commission Expires: 07-18-2022

Notary (I, S.) Connie Hyatt
Notary (printed name): Connie Hyatt

Kathryn H. Sapp
Responsible Person Connected with the Transaction

Kathryn H. Sapp
Printed or Type Name of Responsible Person



STATE OF SOUTH CAROLINA
COUNTY OF HORRY

Kathryn H. Sapp, John D. Sapp, Jr.,
Alycia K. Sapp and Kara D. Sapp

TO

Kathryn H. Sapp

TITLE TO REAL ESTATE

EXHIBIT "A"

PARCEL ONE:

All and singular, all that certain piece, parcel or lot of land in Little River, Township, Horry County, South Carolina, being shown and designated as Lot Eleven (11) on a map of thirty eight (38) lots in Riverside Campground, prepared by C.B. Berry, RLS, a copy of said map is recorded in Plat Book 62 at Page 21, in the Office of the Clerk of Court for Horry County, South Carolina, reference to said map is craved as forming a part of this description.

This being the same property conveyed to the grantors in a Deed of Distribution in Deed Book 4005 at Page 629 dated April 13, 2017 and recorded April 26, 2017 in the Office of the Horry County Registrar of Deeds.

Tax Map # 131-17-01-003

PARCEL TWO:

All that certain piece, parcel or lot of land with any improvements thereon, situate, lying and being in the Little River Township, Horry County, South Carolina, being shown and designated as Lot Two (2) on a plat prepared for Donald White by McKim & Creed, R.L.S. which is recorded in the Office of the Clerk of Court for Horry County in Plat Book 207 at Page 106. Said plat description is incorporated herein by reference thereto. This is the same property conveyed to the grantors in Deed Book 4005 at Page 631.

This being a portion of that property conveyed to John D. Sapp in a Deed recorded in the Office of the Clerk of Court for Horry County in Deed Book 2893 at Page 1493. This is the same property conveyed to the grantors in Deed Book 4005 at Page 631.

Tax Map #131-17-01-014

Grantees' Address: 4813 Riverside Drive, North Myrtle Beach, South Carolina 29582

I HEREBY CERTIFY THAT THIS MAP AND THE FIELD SURVEY ON WHICH IT IS BASED, TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF AND IN MY PROFESSIONAL OPINION, COMPLIES WITH THE REQUIREMENTS FOR A (CLASS A) URBAN LAND SURVEY AS SET FORTH IN THE "MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA" CODE OF REGULATIONS, CHAPTER 49, ARTICLE 3, RULES 49-20 THROUGH 49-29, AS AMENDED. I FURTHER CERTIFY THAT THE AREA WAS DETERMINED BY THE COORDINATE CROSS MULTIPLICATION METHOD OF CALCULATION. WITNESS MY HAND AND SEAL THIS 16th DAY OF August 2005.

Timothy Cawood
TIMOTHY CAWOOD R.L.S. 14806

THIS MAP AND FIELD SURVEY WERE MADE FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED IN THE CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND OR TRANSFER TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT AN EXPRESSED RE-CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS, OR ENTITY.

CERTIFICATE OF OWNERSHIP AND DEDICATION

THE UNDERSIGNED HEREBY ACKNOWLEDGE THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON, AND THAT I (WE) HEREBY ADOPT THIS (PLAN OF DEVELOPMENT/PLAT) WITH MY (OUR) FREE CONSENT AND THAT I (WE) HEREBY DEDICATE ALL ITEMS AS SPECIFICALLY SHOWN OR INDICATED ON SAID PLAT.

John Sapp *John Sapp* 8-19-05
NAME SIGNATURE DATE

NAME SIGNATURE DATE

NAME SIGNATURE DATE

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE PLAT OF RIVERSIDE CAMP GROUND SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE HORRY COUNTY LAND DEVELOPMENT REGULATIONS AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE REGISTER OF DEEDS.

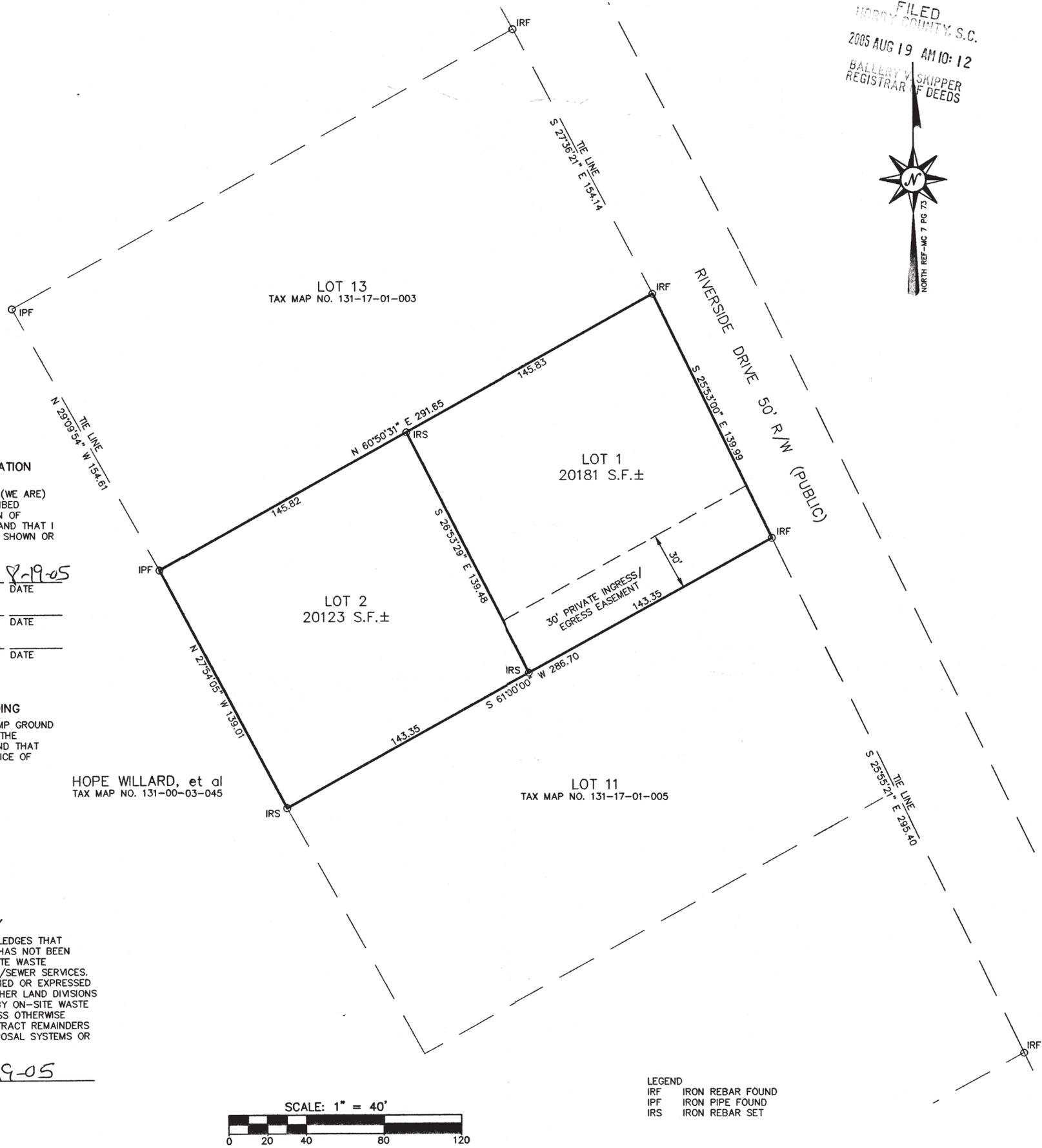
Michael Hodge 19 August
(PLANNING SIGNATURE) DATE

(ENGINEERING SIGNATURE) DATE

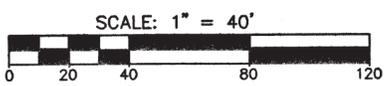
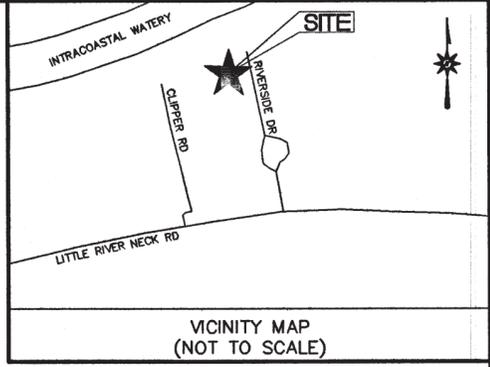
CERTIFICATE OF NON-EVALUATION FOR WATER AND SEWER AVAILABILITY

THE PROPERTY OWNER OF RECORD HEREBY ACKNOWLEDGES THAT THE SURVEYED PARCEL AND/OR TRACT REMAINDER HAS NOT BEEN REVIEWED TO DETERMINE THE AVAILABILITY OF ON-SITE WASTE DISPOSAL SYSTEMS OR PROVISION OF PUBLIC WATER/SEWER SERVICES. RECORDATION OF THIS PLAT SHALL NOT BE AN IMPLIED OR EXPRESSED CONSENT BY HORRY COUNTY THAT THE LOTS OR OTHER LAND DIVISIONS SHOWN HEREON ARE CAPABLE OF BEING SERVICED BY ON-SITE WASTE DISPOSAL OR PUBLIC WATER/SEWER SYSTEMS. UNLESS OTHERWISE STATED HEREON, ALL SURVEYED PARCELS AND/OR TRACT REMAINDERS HAVE NOT BEEN REVIEWED FOR ON SITE WASTE DISPOSAL SYSTEMS OR PUBLIC WATER/SEWER SERVICES.

John Sapp 8-19-05
PROPERTY OWNER DATE



FILED
HORRY COUNTY, S.C.
2005 AUG 19 AM 10:12
BALLERY SKIPPER
REGISTRAR OF DEEDS



LEGEND
IRF IRON REBAR FOUND
IRP IRON PIPE FOUND
IRS IRON REBAR SET

REFERENCES:
1) DEED BK. 1740, PG. 333
2) MAP CAB. 7, PG. 73

NOTES:
1) ALL DISTANCES SHOWN ARE GROUND HORIZONTAL UNLESS OTHERWISE NOTED.
2) ALL DISTANCES ARE IN FEET UNLESS OTHERWISE NOTED.
3) THIS PROPERTY IS IN FLOOD ZONE X AS SCALED FROM FEMA FLOOD MAP PANEL NUMBER 45051C 0601 H DATED AUG. 23, 1999.
4) PARENT TAX MAP NO.: 131-17-01-004
5) DATE OF FIELD SURVEY: MAY 7, 2005
6) ACCESS IS PROVIDED TO LOT 2 THROUGH THE USE OF A 30 FOOT NON-EXCLUSIVE AND APPURTENANT ACCESS/UTILITY EASEMENT. THE ACCESS/UTILITY EASEMENT AND DRIVEWAY SHALL BE OWNED AND MAINTAINED COLLECTIVELY BY THE PROPERTY OWNER(S) OF THE ADJACENT LOTS. HORRY COUNTY SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE ACCESS/UTILITY EASEMENT.

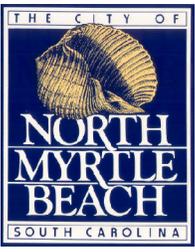
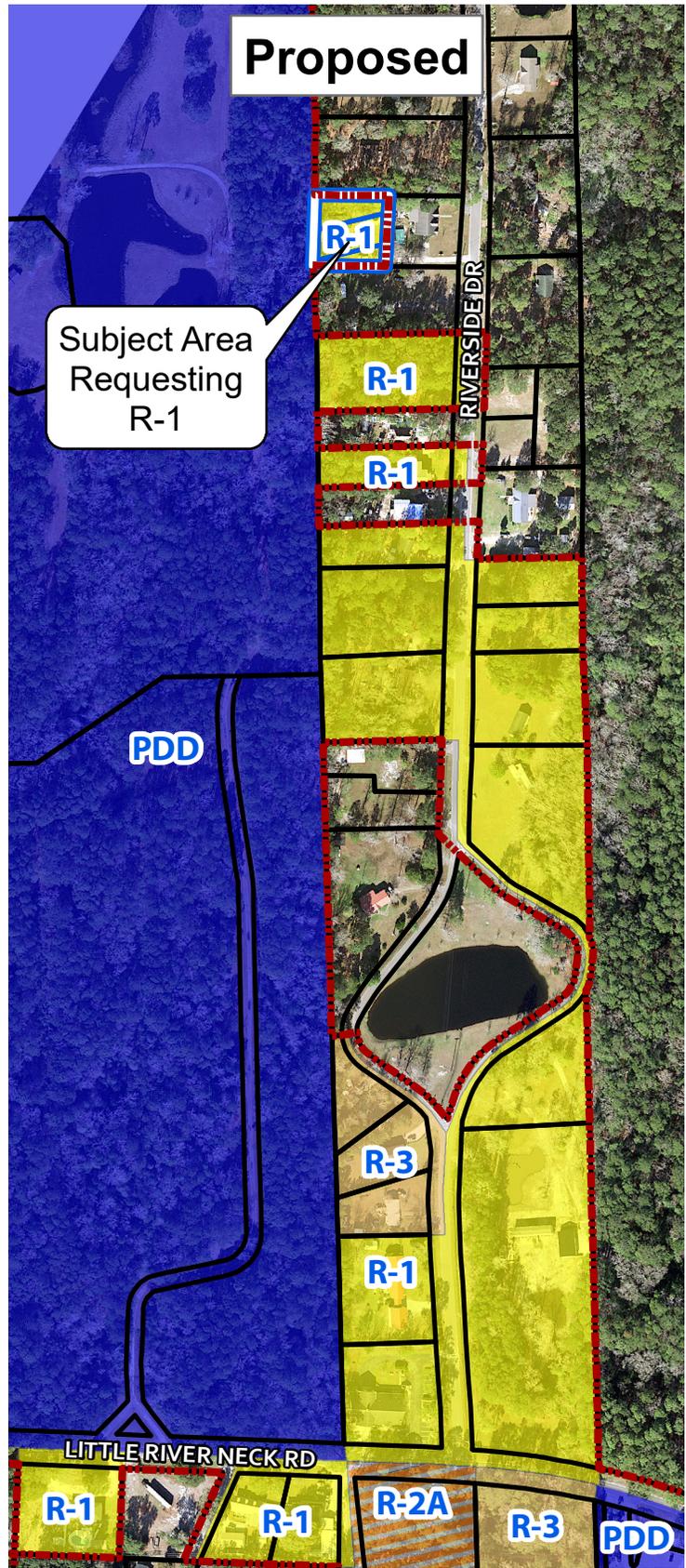
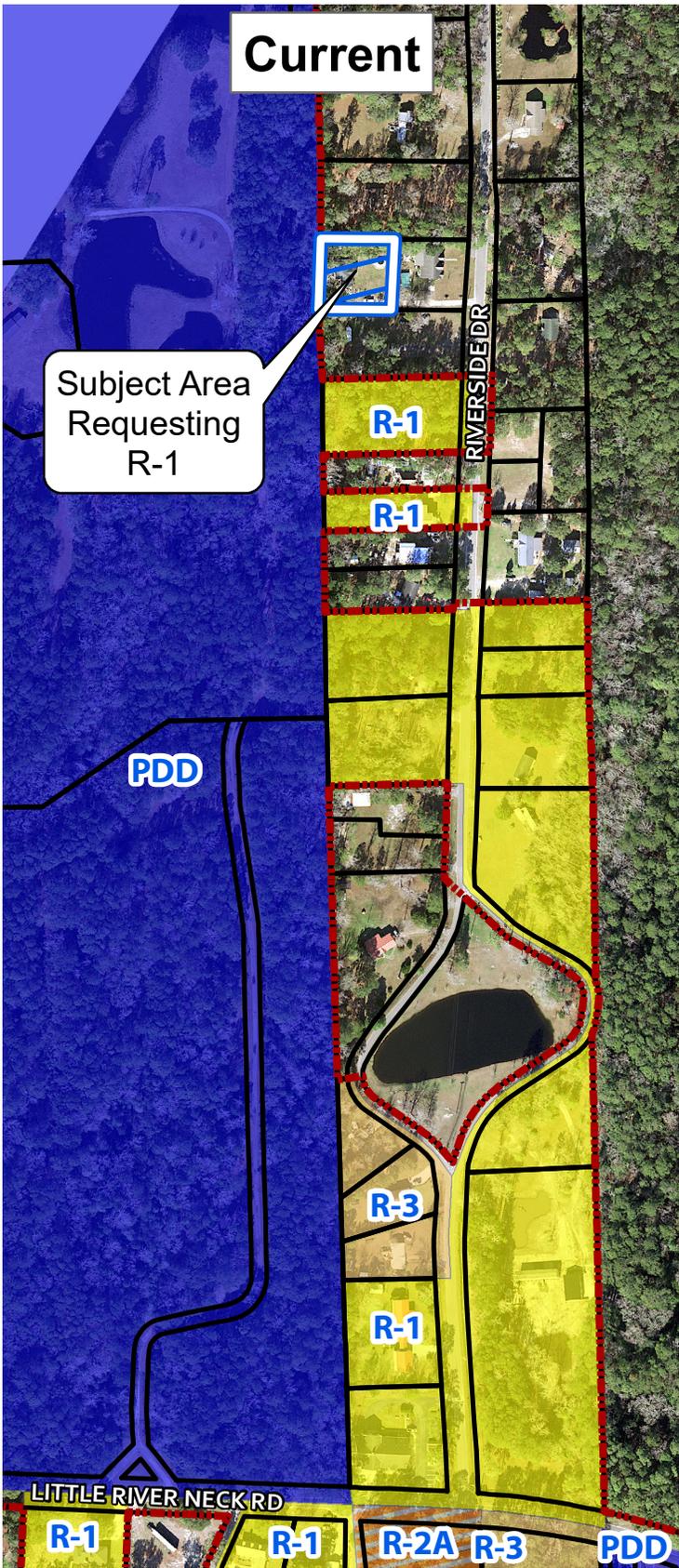
DATE	REVISION	INITIAL

MCKIM & CREED
3987 Bus. Hwy. 17 East
Bolivia, North Carolina 28422
Phone: (910)253-6622, Fax: (910)253-6634
Internet Site: <http://www.mckimcreed.com>

Professional seal and signature of Timothy Cawood, dated 08-16-05.

PLAT OF
OF
2 LOTS
FOR
DONALD WHITE
RIVERSIDE DRIVE
LITTLE RIVER, SC
DATE: MAY 12, 2005 SCALE: 1" = 40'
LITTLE RIVER NECK TWSP. HORRY COUNTY SOUTH CAROLINA

PROJECT # : DONALD
PROJ. SVYR : MRS
DRAWN BY : RDT
FIELD BK. :
COMP. FILE : VB101-DONALD
SHEET # : OF
DWG. # : VB101-DONALD



Legend

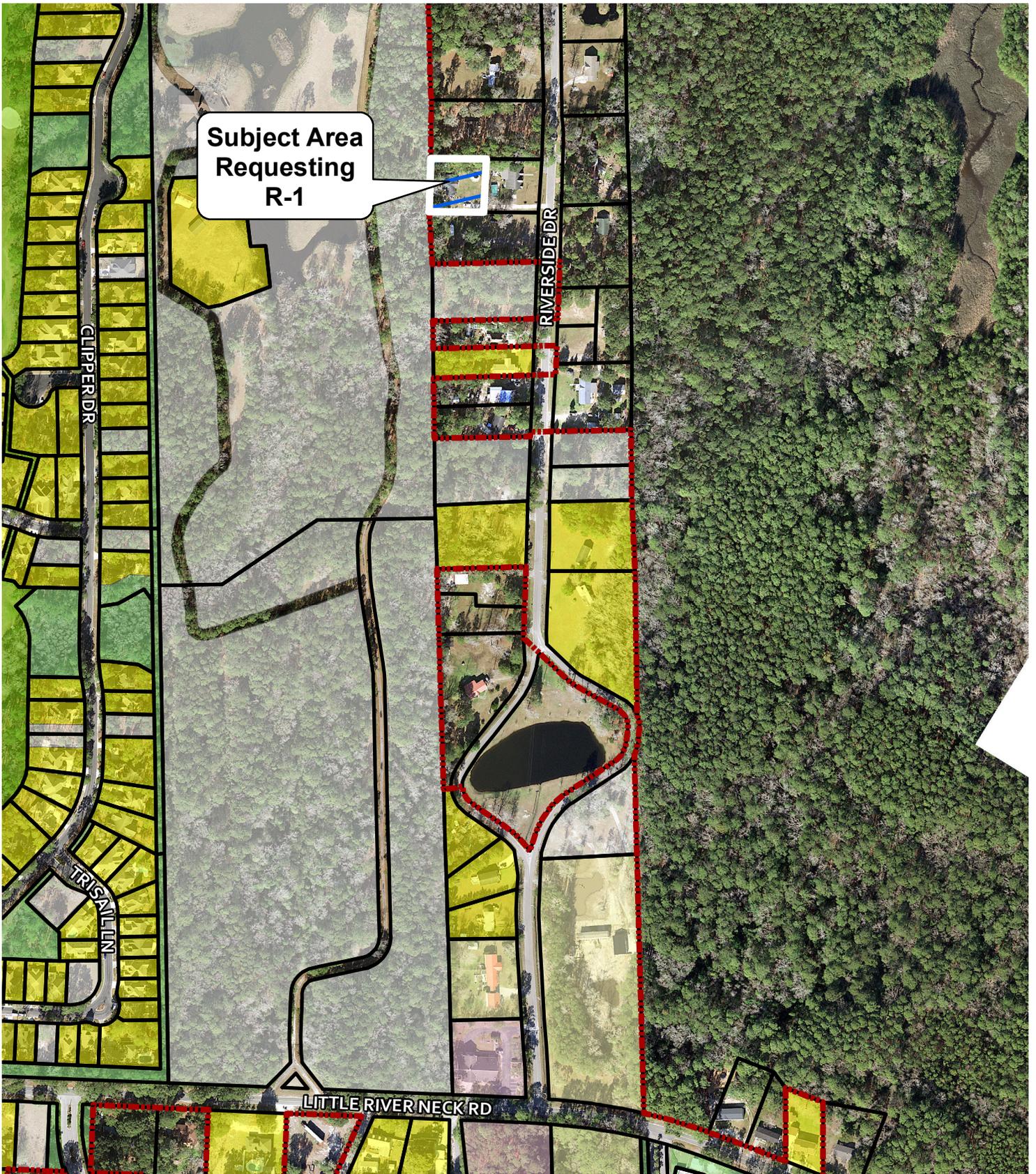
 Subject Area
  R-1
  R-3

 North Myrtle City Limits
  PDD
  R-2A

Exhibit A: Zoning Map (Z-22-4)



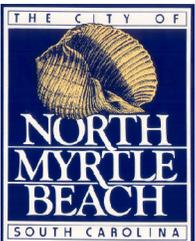
Date: 3/8/2022
Author: Dawn E. Snider



Subject Area Requesting R-1

Legend

-  North Myrtle City Limits
-  Golf Course
-  Single-Family
-  Existing Land Use
-  Mobile Home
-  Vacant
-  Common Open Space
-  Public, Social, Cultural



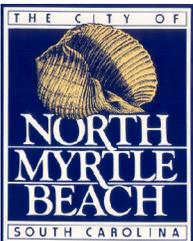
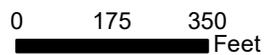
Existing Land Use Map (Z-22-4)



Legend

-  Subject Area
-  North Myrtle City Limits
-  CC - Conservation Community
-  RPC - Resource, Protection, Conservation
-  SP - Service / Production
-  RS - Residential Suburban

Recommended Future Land Use Categories



Future Land Use Map (Z-22-4)

6B. ZONING ORDINANCE TEXT AND MAP AMENDMENT ZTX-22-2: City staff has initiated an amendment to the zoning ordinance text to revise the exempt public service uses to include public off-street parking lots with or without public bathrooms and/or bathing facilities.

Background

Within our City’s zoning ordinance, bathrooms cannot be a primary or accessory use on a site. To meet citizen demand for parking, the City has been purchasing oceanfront parcels for conversion to parking areas. The proposed design of bathroom facilities on some of these properties has created a need to revise the City’s Zoning Ordinance regarding exempt public uses.

Proposed Changes

Staff is proposing a text amendment to the Zoning Ordinance adding public off-street parking lots with or without public bathrooms and/or bathing facilities to the list of exempt public service uses.

The proposed amendment addresses one existing section in *Chapter 23, Zoning*, and would appear in the Ordinance as follows (new matter underlined).

Sec. 23-110. - Certain public service uses exempt.

Uses: Due to the nature of certain public/private service uses and the need to locate such uses in certain areas of the city irrespective of prevailing district regulations, the following list of uses may be established in any zoning district, provided such uses meet all the dimensional requirements of the district, except height and minimum lot size, within which they will be located:

- (1) Post office.
- (2) Police and fire stations.
- (3) Sewerage treatment facilities.
- (4) Water treatment and storage facilities.
- (5) Telephone exchange and repeater stations.
- (6) Radio and TV station masts.
- (7) Electrical transformers.
- (8) Spoilage easements and basins for deposition of dredged materials from area waterbodies.
- (9) Public off-street parking lots with or without public bathrooms and/or bathing facilities.

According to § 23-4, *Amendments*, of the Zoning Ordinance, the advertisement requirement for Zoning Ordinance amendments is 15 days, and that advertisement notice has been met. The amendment is presented to the Planning Commission for a recommendation that will be forwarded to City Council at their next meeting scheduled for April 4, 2022.

Planning Commission Action:

The Planning Commission may recommend approval, recommend approval with modifications and/or conditions, or recommend denial of the proposal as submitted.

Alternative Motions

- 1) I move that the Planning Commission forward the Zoning Ordinance Text Amendment [ZTX-22-2] to the Mayor and City Council with a recommendation of approval.

OR

- 2) I move that the Planning Commission forward the Zoning Ordinance Text Amendment [ZTX-22-2] to the Mayor and City Council with a recommendation of denial.

OR

- 3) I move (an alternate motion).

6C. ZONING ORDINANCE TEXT AND MAP AMENDMENT ZTX-22-3: City staff has initiated an amendment to the zoning ordinance text to revise the definition of *Park and Sports Complex* and *Public Park and Recreation Facilities* to include supported commercial and/or fee-based recreational activities approved by the City.

Proposed Changes

Staff is proposing a text amendment to the Zoning Ordinance revising park definitions to allow supported commercial and/or fee-based activities to occur within these uses. These definition changes give City staff some flexibility to address issues in our City, such as kayak tours and launches at public landings and future sport tourism needs.

The proposed amendment addresses one existing section in *Chapter 23, Zoning*, and would appear in the Ordinance as follows (new matter underlined, deleted matter struck).

Sec. 23-2. - Definitions.

Park and sports complex. A tract of publicly owned land one hundred (100) acres or more in size, with athletic fields, active and/or passive recreation facilities and regional attractions such as, but not limited to, zip lines and water parks and associated facilities and activities, dog parks, biking/hiking trails, water activities, and entertainment/gathering venues. Such facilities may also have accessory on-site sales and consumption of food, legal beverages, gifts, clothing, ticket sales, fee-based recreational activities, equipment rental and similar activities.

Public park and recreation facilities: Any ~~noncommercial~~ park, playground, or other recreation facility, and/or open space officially designated as a public park or recreation facility including community centers, passive and active outdoor uses and indoor uses, and all structures associated with such uses. Supportive commercial activities such as food and merchandise vending, sports, leisure and tourism activities and the like are permissible within parks with City approval, whether through direct management, sponsorship, or franchising.

According to § 23-4, *Amendments*, of the Zoning Ordinance, the advertisement requirement for Zoning Ordinance amendments is 15 days, and that advertisement notice has been met. The amendment is presented to the Planning Commission for a recommendation that will be forwarded to City Council at their next meeting scheduled for April 4, 2022.

Planning Commission Action:

The Planning Commission may recommend approval, recommend approval with modifications and/or conditions, or recommend denial of the proposal as submitted.

Alternative Motions

- 1) I move that the Planning Commission forward the Zoning Ordinance Text Amendment [ZTX-22-3] to the Mayor and City Council with a recommendation of approval.

OR

- 2) I move that the Planning Commission forward the Zoning Ordinance Text Amendment [ZTX-22-3] to the Mayor and City Council with a recommendation of denial.

OR

- 3) I move (an alternate motion).

6D. FINAL SUBDIVISION PLAT SUB-21-68: A major final plat of subdivision dedicating Grande Dunes North Village Boulevard in the Grande Dunes North section of the Parkway Group Planned Development District (PDD).

Background

Planning Commission previously approved the preliminary plat of subdivision for the Grande Dunes North spine road at their December 6, 2016, and April 21, 2020, meetings.

Existing and Proposed Conditions

The subject property is one lot of record identified by PIN 389-00-00-0007 and consists of 238.74 acres. The property is zoned Planned Development District (PDD) and is located within the City’s jurisdiction. This plat creates the Grande Dunes North Village Boulevard right-of-way and a 229.40-acre remainder lot. Within the right-of-way, 2.04 acres are public, and 7.28 acres are private. The road has been constructed, and all improvements have been made in accordance with the preliminary plat and PDD documents. There is no financial guarantee for this plat, so all improvements must be completed prior to plat approval.

Staff Review

Planning Division

The planning division has no issue with the right-of-way dedication plat.

Zoning Division

The Zoning Administrator has no issue with the right-of-way dedication plat.

Public Works

The Public Works department has no issue with the right-of-way dedication plat.

Public Safety

The Fire Marshal has no issue with the right-of-way dedication plat.

Planning Commission Action:

The Planning Commission may approve, approve with modifications and/or conditions; or disapprove the plat, as submitted.

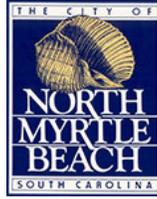
Alternative Motions

I move that the planning commission approve the major final plat of subdivision [SUB-21-68] prepared for Grande Dunes North Village Boulevard as submitted;

OR

I move (an alternate motion).

SUBDIVISION NAME:
Grande Dunes North Village Boulevard



Subdivision Finance Account Code:	3.21
FEE DUE/PAID:	\$270.00 on March 7, 2022
FILE NUMBER:	SUB-21-68
Complete Submittal Date:	March 7, 2022

City of North Myrtle Beach, SC

Application for a Major Plat

GENERAL INFORMATION

Date of Request: August 25, 2021	Property PIN(S): 3890000007
Property Owner: NGD Property II LLC	Type of Subdivision: Major Final Subdivision
Address or Location: Grande Dunes North	Project Contact: Cameron Parker
Contact Phone Number: 843-839-3350	Contact Email Address: cam@drgpllc.com

PROJECT INFORMATION

Zoning: PDD	Total Area: 238.74 Acres	Existing # of Lots: 1	Proposed # of Lots: 2
Total # of Residential/Commercial Lots: 0	Area of Largest Lot: 7.9 sq. ft.	Area of Smallest Lot: 1.43 sq. ft.	Linear Feet of New Streets: 4,600
Total # of Common/Open Space Lots: 0	Total Area of Common/Open Space Lots: 0	Total # of Utility Space Lots: 1	Total Area of Utility Lots: 0.02

Proposed Street Names: Grande Dunes North Village Boulevard

Are Wetlands Present on Site? Yes

Are Trees Greater than 16" Caliper Present on Site? No

Is the applicant requesting that Planning Commission authorize the removal of any tree to permit the installation of infrastructure, including trees greater than 24" caliper?
No

RECORDED COVENANT INFORMATION

I hereby certify that the tract(s) or parcel(s) of land to which this approval request pertains is not restricted by any recorded covenant that is contrary to, conflicts with,
or prohibits the activity for which approval is sought, as provided in South Carolina Code of Laws (§ 6-29-1145).

Applicant's E-signature: Cameron Parker

This form complies with a state law that took effect on July 1, 2007 (S.C. Code § 6-29-1145) that requires all planning agencies to inquire in an application for a permit if the parcel of land is restricted by a recorded covenant that is contrary to, conflicts with, or prohibits the permitted activity. If such a covenant exists, the agency shall not issue the permit until written confirmation of its release is received. The release must be through the action of an appropriate legal authority.



CITY OF NORTH MYRTLE BEACH
LETTER OF AGENCY

Revision Date 12.20.16

Today's Date: 4-14-2021

Nature of Approval Requested: Development Related Activities

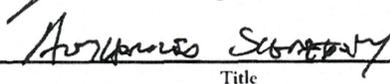
Property PIN and Tax Map Number, if applicable: 38900000007

Property Location: Grande Dunes North

I, Jessie Baker, hereby authorize J. Cameron Parker

to act as agent for NGD Property II LLC for the purposes of the above referenced

approval.

 Signature 4/16/21 Date
 Title

