

**REQUEST FOR CITY COUNCIL CONSIDERATION**

Meeting Date: December 2, 2024

|   |  |
|---|--|
| Agenda Item: 6D   | Prepared by:<br>L. Suzanne Pritchard, PLA, AICP, CFM |
| Agenda Section:<br>Unfinished Business: Ordinance. Second Reading   | Date: November 27, 2024                              |
| Subject:<br>Amendment to the Parkway Group Planned Development District (PDD) creating phases four and five of the Palmetto Coast Industrial Park [Z-24-34] | Division: Planning and Development                   |

**Background:**

City Council approved Phases One and Two of the Palmetto Coast Industrial Park in May 2022, followed by approval of Phase Three in August 2022. On November 4, 2024, the City Council passed the first reading for the proposed new Phases Four and Five. In response to feedback, the applicant has enhanced the proposal by providing additional architectural elevations, increasing the landscape buffer, and incorporating evergreen canopy trees into the buffer to improve its overall effectiveness.

**Proposed Changes:**

The applicant, Mark Stoughton of DRG, Agent for the Developer, has requested an amendment to the Parkway Group PDD revising a portion of the Henry Road West section into phases four and five of the Palmetto Coast Industrial Park. The current PDD proposal contains an additional three industrial warehouse buildings of approximately 662,500 square feet with standard/accessible parking spaces and tractor-trailer parking spaces and an outparcel site which will be developed at a future time through major amendment. Two driveways allow access to the site from Water Tower Road. Stormwater ponds and wetlands constitute the balance of the property. Architecturally, the proposed elevations conform to the standards of the initial phases of the industrial park. Two land plans are presented for approval with phasing options shown.

**Staff Review:**

The amendment has been reviewed by the Department of Public Works, the Department of Public Safety, and the Department of Planning and Development; no concerns have been expressed.

**Planning Commission Action:**

The Planning Commission held a public hearing on October 22, 2024, and voted to recommend denial of the proposal due to concerns regarding aesthetics and traffic. There was no public comment.

**Recommended Actions:**

Approve or deny the proposed ordinance on second reading

|                             |                                 |                           |
|-----------------------------|---------------------------------|---------------------------|
| Reviewed by Department Head | Reviewed by Acting City Manager | Reviewed by City Attorney |
|-----------------------------|---------------------------------|---------------------------|

**Council Action:**

Motion By \_\_\_\_\_ 2<sup>nd</sup> By \_\_\_\_\_ To \_\_\_\_\_

**ORDINANCE**

**AN ORDINANCE OF THE CITY OF NORTH MYRTLE BEACH  
PROVIDING THAT THE CODE OF ORDINANCES,  
CITY OF NORTH MYRTLE BEACH, SOUTH CAROLINA,  
BE AMENDED BY REVISING THE PARKWAY GROUP  
PLANNED DEVELOPMENT DISTRICT (PDD)  
CREATING PHASES FOUR AND FIVE  
OF THE PALMETTO COAST INDUSTRIAL PARK.**

**Section 1:**

That the Parkway Group PDD be amended to include phases four and five of the Palmetto Coast Industrial Park as depicted in Exhibit A, attached and included in this ordinance.

If a conflict arises between the amendments listed in the ordinance and those listed in the PDD booklet, the PDD booklet shall take precedence. The proposed changes are reflected in the PDD booklet.

**Section 2:**

That the North Myrtle Beach Planning Commission has provided the required public notice of this request and has held the necessary public hearings in accordance with applicable State Statutes and City Ordinances.

DONE, RATIFIED AND PASSED, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

ATTEST:

\_\_\_\_\_  
Mayor Marilyn Hatley

\_\_\_\_\_  
City Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney

FIRST READING: 11.4.2024  
SECOND READING: 12.2.2024

REVIEWED:

\_\_\_\_\_  
Acting City Manager

ORDINANCE: 24-49

A written project description of

**PALMETTO INDUSTRIAL PARK  
PHASE 4 & 5  
A PORTION OF THE PARKWAY GROUP  
PLANNED DEVELOPMENT  
DISTRICT (P.D.D.)**

**September 27, 2024**

**Revised November 21, 2024**

**Exhibit A**

## **PDD DOCUMENT TABLE OF CONTENTS**

- Section 1: PURPOSE AND INTENT STATEMENT
  - Section 2: LEGAL DESCRIPTION
  - Section 3: PROJECT DEVELOPER AND TITLE
  - Section 4: SITE PLAN
  - Section 5: DEVELOPMENT DESCRIPTION
  - Section 6: GENERAL DEVELOPMENT STANDARDS FOR THIS PORTION OF THE PDD
  - Section 7: MAINTENANCE AND CONTROL
  - Section 8: CONSTRUCTION SCHEDULE
  - Section 9: OFF-SITE AND STREETScape IMPROVEMENTS
  - Section 10: FEES AND PUBLIC BENEFITS
  - Section 11: AMENDMENTS AND ENFORCEMENT
- Exhibit “A”:** Boundary Survey of the Property  
**Exhibit “B”:** Location Map

PDD Documentation Provided in Separate Exhibit Supplement.

- (i) Conceptual Site Plans
- (ii) Schematic Utility Plans
- (iii) Schematic Drainage Plans
- (iv) Building Conceptual Elevations
- (v) Landscape Plan
- (vi) Truck Maneuver Plan
- (vii) Firetruck Maneuver Plan
- (viii) Roadway Improvement Plan

## SECTION 1: PURPOSE AND INTENT STATEMENT

The purpose of a Planned Development District (PDD) is to encourage flexibility in the development of land in order to promote its most appropriate use; to improve the design, character and quality of new development; to facilitate the provision of livable streets and utilities, to preserve the natural and scenic features of open areas, and to provide a flexible zoning management tool that meets the needs of integrated mixed-use developments in creative arrangements [*City of North Myrtle Beach Zoning Ordinance §23-29 (Amended October 20, 2009)*]

The Parkway Group P.U.D., now known as the “Parkway Group PDD” (the “**PDD**”) was adopted in October of 2008, and encompassed several large tracts of land, totaling approximately 1,363 acres, in the aggregate. Together these parcels combine frontage along the Atlantic Intracoastal Waterway and S.C. Highway 22, and are bisected by S.C. Highway 31, forming the Southernmost portion of the City of North Myrtle Beach. The original tracts have been subdivided and in some instances, conveyed to third parties, but remain subject to both the PDD, as amended, and that certain Master Development Agreement, by and among the City of North Myrtle Beach and the original owners of each of the parcels in the Parkway Group PDD, which Master Development Agreement is recorded in Deed Book 3382 at Page 3357, and First Amendment to Master Development Agreement recorded in Deed Book 4298 at Page 2823, in the public records of Horry County, South Carolina (collectively the “**Development Agreement**”), as amended.

Pursuant to the terms of the Development Agreement, property owners within the Parkway Group PDD, their successors and assigns, have agreed to provide certain reimbursements and public benefits to the City, which are set forth in the Development Agreement. Future amendments to the Parkway Group PDD and the Development Agreement may require additional or alternative public benefits, to be determined by the City and the applicant for such amendment, at the time of each amendment.

This particular portion of the Parkway Group PDD is a portion of the property owned by Henry Road West, LLC, an original party to the Parkway Group PDD and the corresponding Development Agreement. The site consists of approximately 62.39 acres, located west of S.C. Highway 31. The property is a portion of Horry County TMS/PIN No.: 155-00-01-053/389-00-00-0002.

It is the specific intent of this PDD Amendment document (“**PDD Amendment**”) to create and maintain Three (3) additional industrial buildings, suitable to accommodate small, medium and large industrial and distribution tenants, as an extension of the existing Palmetto Industrial Park, positioned so as to take advantage of the proximity of transportation corridors created by S. C. Highway 22 and S.C. Highway 31, while maintaining separation from the surrounding residential communities, accommodating small, medium and larger businesses (the “**Project**”).

All development within this Project will be regulated by the terms of the master site plan, approved ordinance, the City of North Myrtle Beach zoning ordinance, and other applicable codes and ordinances of the City of North Myrtle Beach. *The definitions applicable throughout this Document are set forth in Section 23-2 of the City of North Myrtle Beach Zoning Ordinance.*

## SECTION 2: LEGAL DESCRIPTION

Those certain pieces, parcels or tract of land lying and situate in the City of North Myrtle Beach, Horry County, South Carolina, and being more particularly shown and depicted in Exhibit “A” attached hereto (hereafter the “Property”).

## SECTION 3: PROJECT DEVELOPER AND TITLE

The Project title of this development is “**Palmetto Industrial Park Phase 4 & 5**”. The developer is Edgewater Industrial, LLC, and its related affiliates. The term “Developer” throughout this Document will include all subsidiaries and affiliates of Edgewater Industrial, LLC, and the term will also include any of its successors in interest or successors in title and/or assigns by virtue of assignment or other instrument.

## SECTION 4: SITE PLAN

A separate Exhibit Supplement to this Document, submitted together with this Document, contains the PDD Documentation, including the Master Site Plan depicting the parcel, which has been surveyed, but not yet subdivided, and the improvements to be made for development of the Project (“Site Plan”). The Site Plan shall be binding on the Property and any major departure shall be authorized by amendment only. The controlling Site Plan shall negate any contradiction between the Site Plan and any other plan, and this PDD Amendment. This Project includes One (1) parcel comprising the Project, which is adjacent to the previously approved Three (3) Phases of the Palmetto Industrial Park, which project will include Three (3) separate additional Buildings.

## SECTION 5: DEVELOPMENT DESCRIPTION

The Palmetto Industrial Park Phase 4 & 5 is planned to include Three (3) separate buildings, together with a separate outparcel of approximately 2.25 acre (the “Future Development Outparcel”). The Future Development Outparcel, would require a future amendment to the PDD and the Development Agreement, and is not being approved for development as a part of this Amendment. The total square footage of the Three (3) proposed buildings is approximately 662,500 square feet, with the front façade of Two (2) buildings being oriented to Water Tower Road, together with required employee/customer parking spaces located primarily between the Two (2) buildings. The third proposed building front façade would be oriented to S.C. Highway 31, together with the required employee/customer paved parking spaces located adjacent to a storm water retention pond closed to S.C. Highway 31, while circulation, loading facilities and trailer parking are located in the rear of this building. The view of this trailer parking for the third building would be shielded from view of the public roadways, together with other needs which would typically be found in a light industrial or distribution environment, including, but not limited to on-site commercial equipment storage. Proposed parking is a blend of the City requirement for both the light industrial district and distribution, with the Project providing One (1) parking space for each 1,000 square feet of interior occupancy area, which is consistent with design parking requirements for similar facilities operated by the Developer which accommodate operational demands as well as employees and customers.

In addition, development of the Project will address the requirements for “Firewise Communities” as to materials and conditions which are appropriate for the avoidance of fire hazards, which will include the avoidance of pine straw as a landscaping material, the use of fire resistant roofing materials and exterior wall materials, maintain exterior building surfaces to avoid vegetation or other “fuels”, incorporating landscaping materials that reduce the flammability of the site, and maintain adequate separations between the building and the property boundary, including the use of storm water retention as a fire buffer.

All on-site wetland which remain following development shall be surrounded with a minimum 20-foot wide water quality buffer, within which on building construction shall occur. These buffer areas and wetlands shall be maintained in common ownership, remaining natural except to the extent vegetation is mulched to maintain required sight triangle distances along Water Tower Road.

The arterial roadway for the portion of the Parkway Group PDD is by way of Water Tower Road, providing access to and from S.C. Highway 31 to the Project. A Two (2) private roadway provide access to the Project from Water Tower Road, and, upon completion, circulation is provided within the Amended Site Plan Parcel, with turn radiuses appropriate for large trucks. The building elevations, materials and colors are functional and consistent with both light industrial and distribution uses in the Developer’s other similar projects as well as the previously approved Phases of Palmetto Industrial Park and the respective underlying tenants, who are not yet identified.

Table 1 below identifies the dimensional standards for the Project.

**TABLE 1  
PROPOSED DIMENSIONAL STANDARDS CHART**

| Permitted Uses      | Min. Site Area Acres | Setbacks (Feet) |      |      | Max. Height** | Impervious Surface | Separation of Structures**** |
|---------------------|----------------------|-----------------|------|------|---------------|--------------------|------------------------------|
|                     |                      | Front           | Side | Rear |               |                    |                              |
| *See Below          | 2.25                 | 25              | 15   | 15   | 50            | 60%                | 20                           |
| Auxiliary Buildings | 2***                 | 10              | 10   | 10   | 36            | 60%                | 20                           |

\*Approved Uses include Professional Offices, Clubs/Lodges/Armories, Public Utilities, Libraries/Museums, Professional Service, Convenience Retail, Primary Retail, Secondary Retail, General Business, Funeral Homes, Commercial Recreation, Hospitals/Clinics/Nursing, Automobile Service, Commercial Parking, Manufacturing, Warehousing, Distribution, Wholesale, Boat Yard, Wireless Towers, Self Storage, and Climate Storage and related offices ancillary to the primary use, fueling of trucks and other equipment, washing and repair work on vehicles, trailers and equipment used in the operation of the primary business, both inside and outside the Building.

\*\*Maximum Height shall be measured from the first occupied floor elevation to the midpoint of the roof on the highest floor. Maximum height of parapets, stair and elevator hoist way extensions, and other rooftop architectural features shall be measured from the first occupied floor elevation, and shall not be included in the calculation of Maximum Height.

\*\*\*Auxiliary Buildings may share the same site area with the primary Building, provided the minimum combined site area is 2.25 Acres.

\*\*\*\*Auxiliary Buildings shall maintain a minimum 20' separation from the primary Building. Separation figures are minimums and are measured from wall to wall.

**SECTION 6: GENERAL DEVELOPMENT STANDARDS THROUGHOUT THIS PORTION OF THE P.D.D.**

A. Densities. The overall density for the Project will not exceed 662,500 square feet of buildings.

B. Permitted Uses.

Permitted Uses are as follows:

(1) Primary Building: Professional Offices, Clubs/Lodges/Armories, Public Utilities, Libraries/Museums, Professional Service, Convenience Retail, Primary Retail, Secondary Retail, General Business, Funeral Homes, Commercial Recreation, Hospitals/Clinics/Nursing, Automobile Service, Commercial Parking, Manufacturing, Warehousing, Distribution, Wholesale, Boat Yard, Wireless Towers, Self Storage, and Climate Storage and related offices ancillary to the primary use, fueling of trucks and other equipment, washing and repair work on vehicles, trailers and equipment used in the operation of the primary business, both inside and outside the Building, provided that such uses outside the Building will be adequately screened by fencing or landscaping from street views.

(2) Auxiliary Buildings. Auxiliary Buildings sharing the same site with the primary Building may be used for the same purposes.

(3) Loading Docks and Transfer Facilities. Loading docks, transfer facilities, bridges and elevated walkways.

(4) Change of One Permitted Use to Another Permitted Use. Should a designated use change after the final construction of a building, such designated use may be replaced with another permitted use. Notwithstanding such change of use, any exterior construction modifications of the building must be completed, as necessary, to bring it into compliance with the current development standards of this Document and the building code.

C. Parking Standards. While the buildings within the Amended Site Plan Parcel may be accessible to the general public, the primary business of each of the anticipated tenants will be industrial and distribution, which is a departure in the visitor volume anticipated for buildings within the City generally. As a result of the lower visitor count anticipated from the general public, the parking standards within the Amended Site Plan Parcel are specified as 1 space per 1,000 square feet of occupiable building square footage for industrial warehousing uses. To the extent the use of any portion of the buildings located on the Amended Site Plan Parcel are used in a manner that isn't consistent with industrial

warehousing uses, those particular uses shall comply with the parking standards set forth in the City's zoning ordinance.

## **SECTION 7: MAINTENANCE AND CONTROL**

It will be the responsibility of the Developer to maintain or provide for the maintenance of the property within the PDD, including any private roadways, pathways and driveways. The Developer's maintenance responsibilities and restrictions will cover the private rights-of-way, driveways, landscape areas, trees, parking areas, pathways, walkways, open space, common areas, wetland buffers, wetlands, buildings and other features of the development as appropriate under this Document, applicable City Zoning Regulations and Subdivision Regulations.

Wetlands to be maintained in order to preserve the required sight triangle locations along Water Tower Road shall be subjected to a maintenance agreement by and between the owners of the Project and the owners of any other portion of the PDD which includes wetlands that would obscure sight triangles for the Project if not maintained.

A perimeter buffer of not less than Five (5) feet shall be maintained for the Project, provided, however that such buffer may include any jurisdictional wetlands, storm drainage basins, lakes or ponds located within the Project. To the extent the Project includes the subdivision of one or more buildings as a separate parcel, no internal perimeter buffer shall be required. For landscaped areas within the Project, not less than One (1) tree per Twenty Five (25) linear feet of landscaped area, and One (1) shrub per Ten (10) linear feet of landscaped area shall be installed, with a minimum of 15/100 inch caliper for each linear foot of perimeter landscaped area,

## **SECTION 8: CONSTRUCTION SCHEDULE**

Construction will begin following receipt of permits from the City of North Myrtle Beach and from other regulatory bodies. The nature of this Project, together with the current economic conditions, prevents the Developer from providing exact dates for commencement of future phases or exact completion dates.

## **SECTION 9: OFF-SITE AND STREETScape IMPROVEMENTS**

Certain vehicular traffic improvements outside of the boundaries of the Project will be required, including changes to the divided median of Water Tower Road to control the points of ingress to and egress from the boundary of the Project and the Water Tower Road arterial roadway, and the installation of turn lanes at the location of each of the access drive along Water Tower Road. Current conditions for Water Tower Road include a sloped drainage ditch and slope on each shoulder, at the time when the Water Tower Road profile is revised to include curb and gutter with underground storm drainage rather than open ditch drainage, the Project will install street trees along the boundary of the Project facing Water Tower Road, in accordance with the City Street Tree standards.

## **SECTION 10: FEES AND PUBLIC BENEFITS**

The fees and public benefits to be paid under the PDD Amendment, together with the Development Agreement Amendment, which may also be set forth in provisions above, are as follows:

(A) Developer shall widen the paved section of Water Tower Road, within the existing public right-of-way of Water Tower Road, to accommodate turning movements, concurrently with the site work improvements for the first building within the Amended Site Plan Parcel, such improvements being either (i) complete; or (ii) bonded in accordance with the City's typically roadway improvement bonding standards, at or prior to the issuance of a building permit for the second building within the Amended Site Plan Parcel.

(B) The City intends to improve Water Tower Road to comply with the Complete Streets portion of the City's land development regulations, provided however, that as of the date of this Amendment, the existing roadway section of Water Tower Road does not allow for installation of sidewalks or street trees, and therefore, in lieu of sidewalks and street trees being installed during the development of the Amended Site Plat Parcel, the owner of the Amended Site Plan Parcel, will contribute to the City, based upon an engineer's estimate approved by the City, an amount equal to Fifty Two Thousand Five Hundred Eighty Seven and 50/100 (\$52,587.50) Dollars, in two separate and equal installments, the first of such installments due and payable on or before the issuance of the building permit of the first building within the Amended Site Plan Parcel, and the second of such installments due and payable on or before the issuance of the certificate of occupancy for the first building within the Amendment Site Plan Parcel, to be used by the City for improvement of Water Tower Road.

(C) Developer shall install or cause to be installed, streetlights within the Project, together with street lights along the boundary of the Project with Water Tower Road, in accordance with the Code of Ordinances.

#### **SECTION 11: AMENDMENTS AND ENFORCEMENT**

The Developer shall record the approved ordinance in the public records of Horry County and return two (2) time-stamped copies to the City of North Myrtle Beach.

Expansions and further amendments to this PDD shall not be permitted without review by the Zoning Administrator and approval as prescribed by the City of North Myrtle Beach Zoning Regulations.

**EXHIBIT “A”**

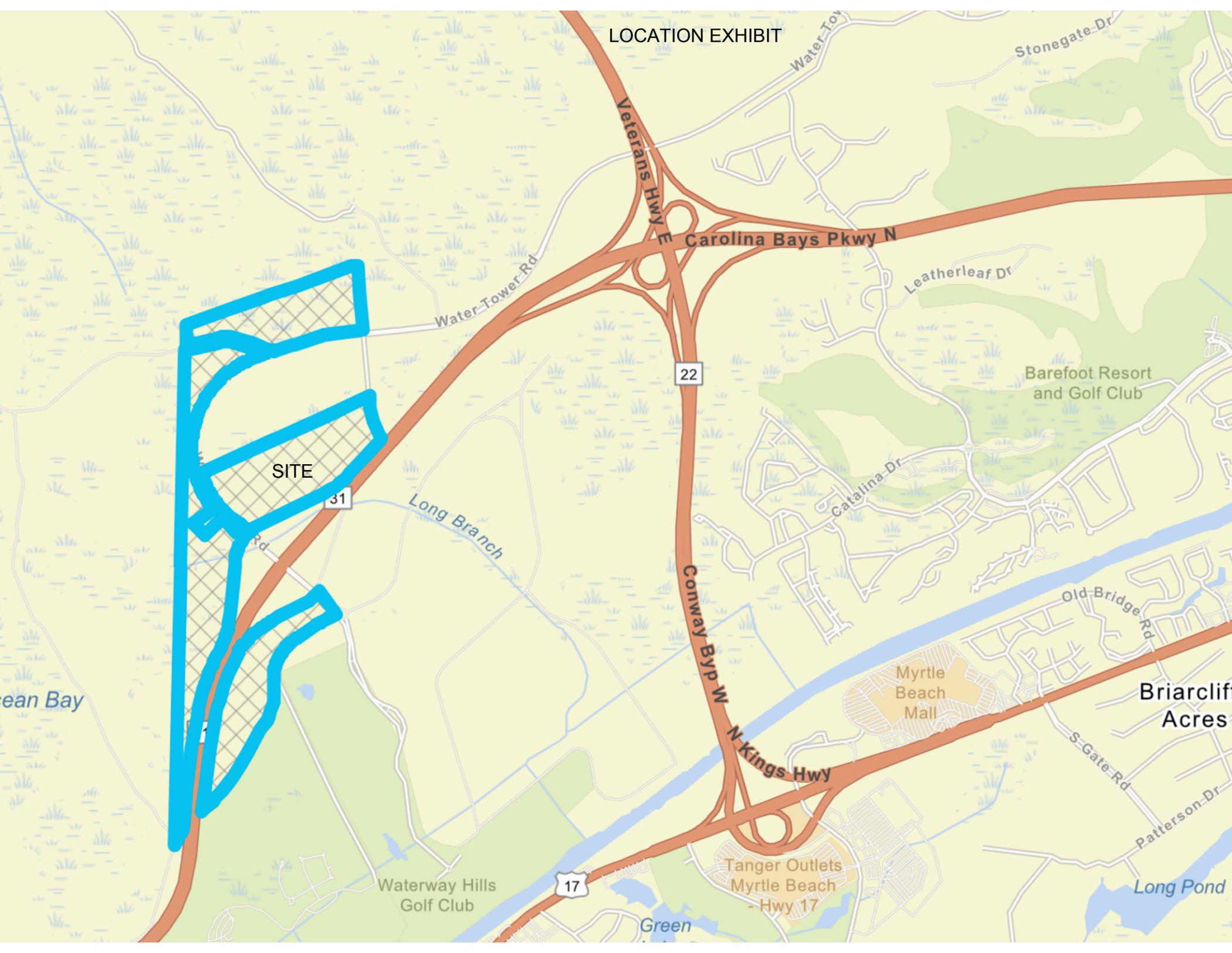
Map of Property



**EXHIBIT “B”**

Location Map

LOCATION EXHIBIT



SITE

22

31

17

LOCATION EXHIBIT

Veterans Hwy E

Carolina Bays Pkwy N

Conway Byp W

N Kings Hwy

Water Tower Rd

Long Branch

Catalina Dr

Leatherleaf Dr

Stonegate Dr

Barefoot Resort and Golf Club

Myrtle Beach Mall

Briarcliff Acres

Tanger Outlets Myrtle Beach - Hwy 17

Waterway Hills Golf Club

Old Bridge Rd

S Gate Rd

Patterson Dr

Long Pond

Myrtle Beach

Green

## CONCEPTUAL SITE PLANS

P:24-108 - EDGEWATER - PALMETTO COAST INDUSTRIAL PARK - PHASE 4 (DESIGN/DRAWINGS/EXHIBITS) 04/2024 - 10/28 PCIP 2 SKETCH PLAN 1 (FULL SITE OPTION 1) COLOR.DWG 2024-11-21 DRG.LLC ©

**SITE DATA**

PIN: 389-00-00-0002  
CITY OF NORTH MYRTLE BEACH  
ZONING = PARKWAY GROUP PUD  
TOTAL AREA = ±62.39 ACRES  
WETLAND AREA = ±4.28 ACRES  
WETLAND FILL = NONE  
POND AREA = ±7.69 ACRES (12.3%)  
BLDG AREA = 662,500 SF  
CAR PARKS = 783  
TRAILER PARKS = 90 (BLDG 7)

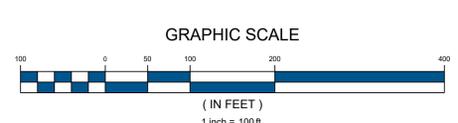
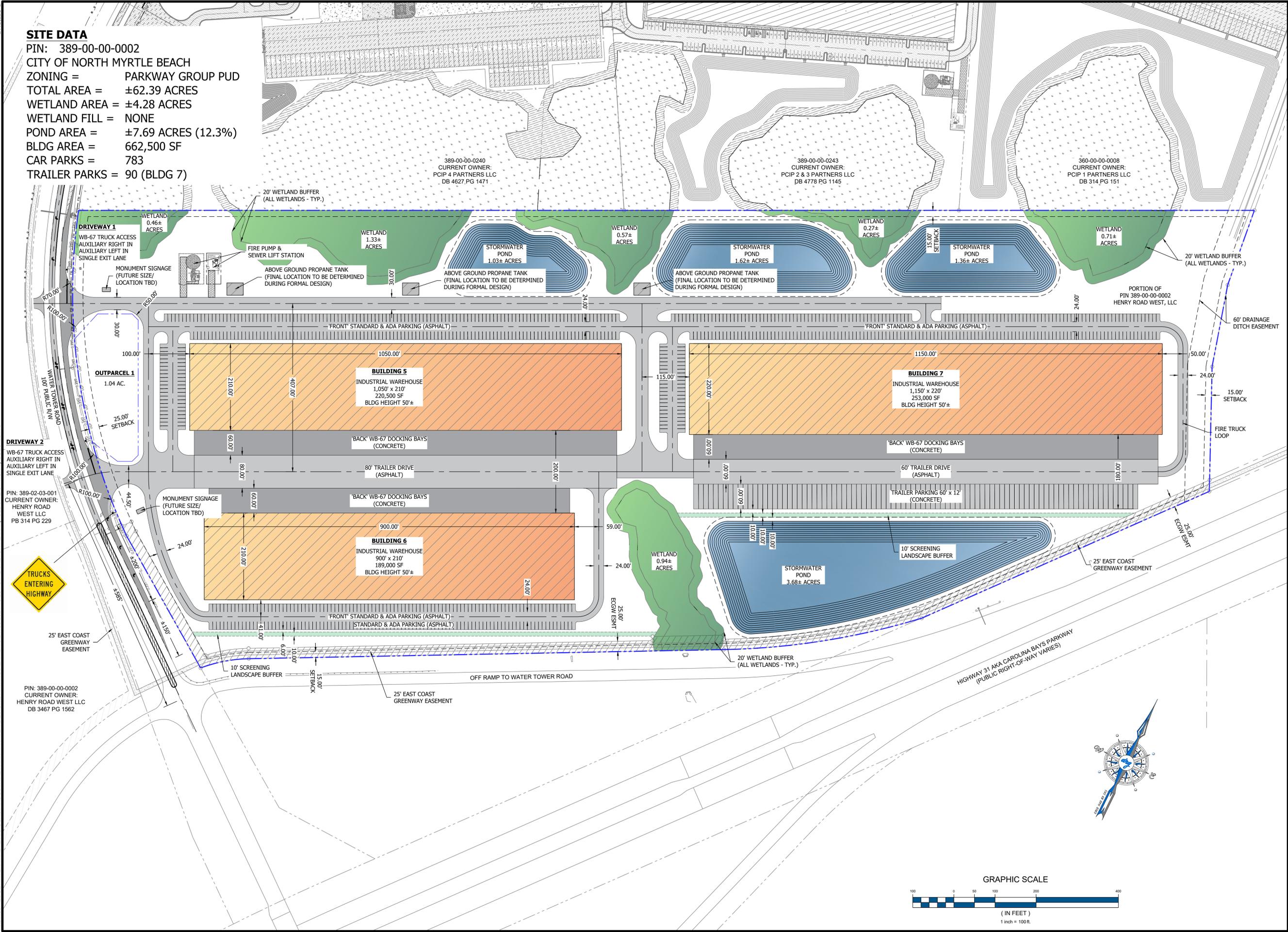


DEVELOPMENT RESOURCE GROUP, LLC  
4703 OLEANDER DRIVE  
MYRTLE BEACH, SC 29577  
843-839-3350 | DRGPLLC.COM

**MASTER SITE PLAN 1**  
**PALMETTO COAST INDUSTRIAL PARK**  
**PHASE 4 & 5 (BLDGS 5/6/7)**

JOB NO: 24.106  
SCALE: 1" = 100'  
DRAWN BY: MES  
CHECKED BY: MES  
DATE: 11/21/2024  
EXHIBIT NUMBER:

**MSP-1**



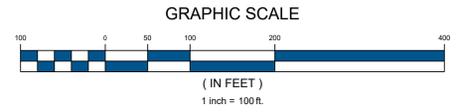
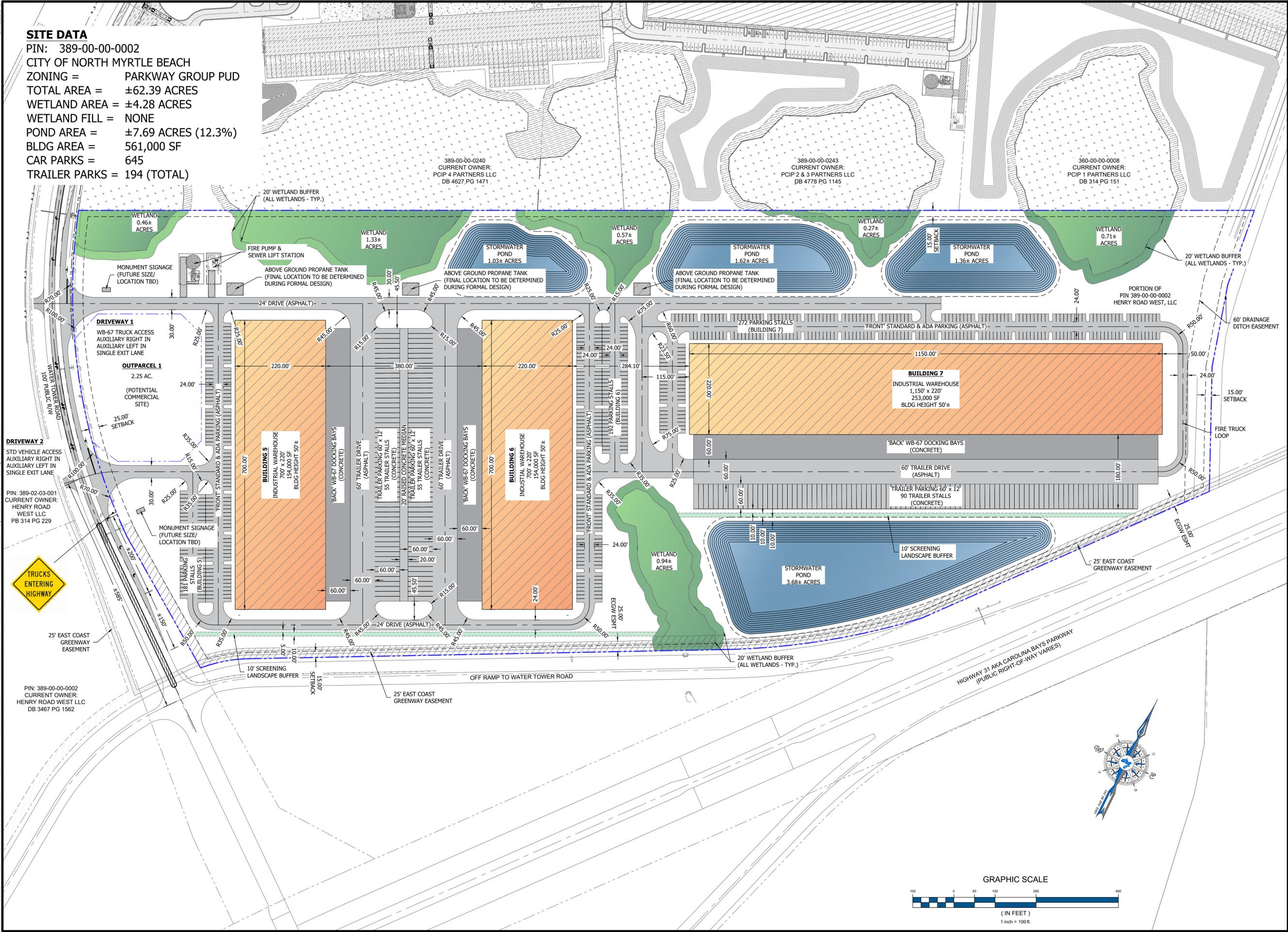
P:24-108 - EDGEWATER - PALMETTO COAST INDUSTRIAL PARK - PHASE 4 (DESIGN/DRAWINGS/EXHIBITS) 04/10/2024 - 10/28/2024 PCIP 2 SKETCH PLAN 2 FULL SITE OPTION 2 COLOR DWG

**SITE DATA**  
 PIN: 389-00-00-0002  
 CITY OF NORTH MYRTLE BEACH  
 ZONING = PARKWAY GROUP PUD  
 TOTAL AREA = ±62.39 ACRES  
 WETLAND AREA = ±4.28 ACRES  
 WETLAND FILL = NONE  
 POND AREA = ±7.69 ACRES (12.3%)  
 BLDG AREA = 561,000 SF  
 CAR PARKS = 645  
 TRAILER PARKS = 194 (TOTAL)



DEVELOPMENT RESOURCE GROUP, LLC  
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 MYRTLE BEACH, SC 29577  
 843-839-3350 | DRGPLLC.COM

**MASTER SITE PLAN 2**  
**PALMETTO COAST INDUSTRIAL PARK**  
**PHASE 4 & 5 (BLDGS 5/6/7)**



|                 |            |
|-----------------|------------|
| JOB NO:         | 24.106     |
| SCALE:          | 1" = 100'  |
| DRAWN BY:       | MES        |
| CHECKED BY:     | MES        |
| DATE:           | 11/21/2024 |
| EXHIBIT NUMBER: |            |

**MSP-2**



2024-11-21 DRG, LLC  
P:24108 - EDGEWATER - PALMETTO COAST INDUSTRIAL PARK - PHASE 4 (DESIGN DRAWINGS EXHIBITS) 24108 2024-10-28 PCIP 2 SKETCH PLAN 4 (BLDG 5&6 AND MASS GRADING) COLOR.DWG

**SITE DATA**  
PIN: 389-00-00-0002  
CITY OF NORTH MYRTLE BEACH  
ZONING = PARKWAY GROUP PUD  
TOTAL AREA = ±62.39 ACRES  
WETLAND AREA = ±4.28 ACRES  
WETLAND FILL = NONE  
POND AREA = ±7.69 ACRES (12.3%)  
BLDG AREA = 308,000 SF  
CAR PARKS = 375  
TRAILER PARKS = 110 (BLDG 5/6)

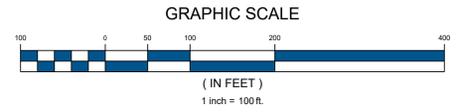
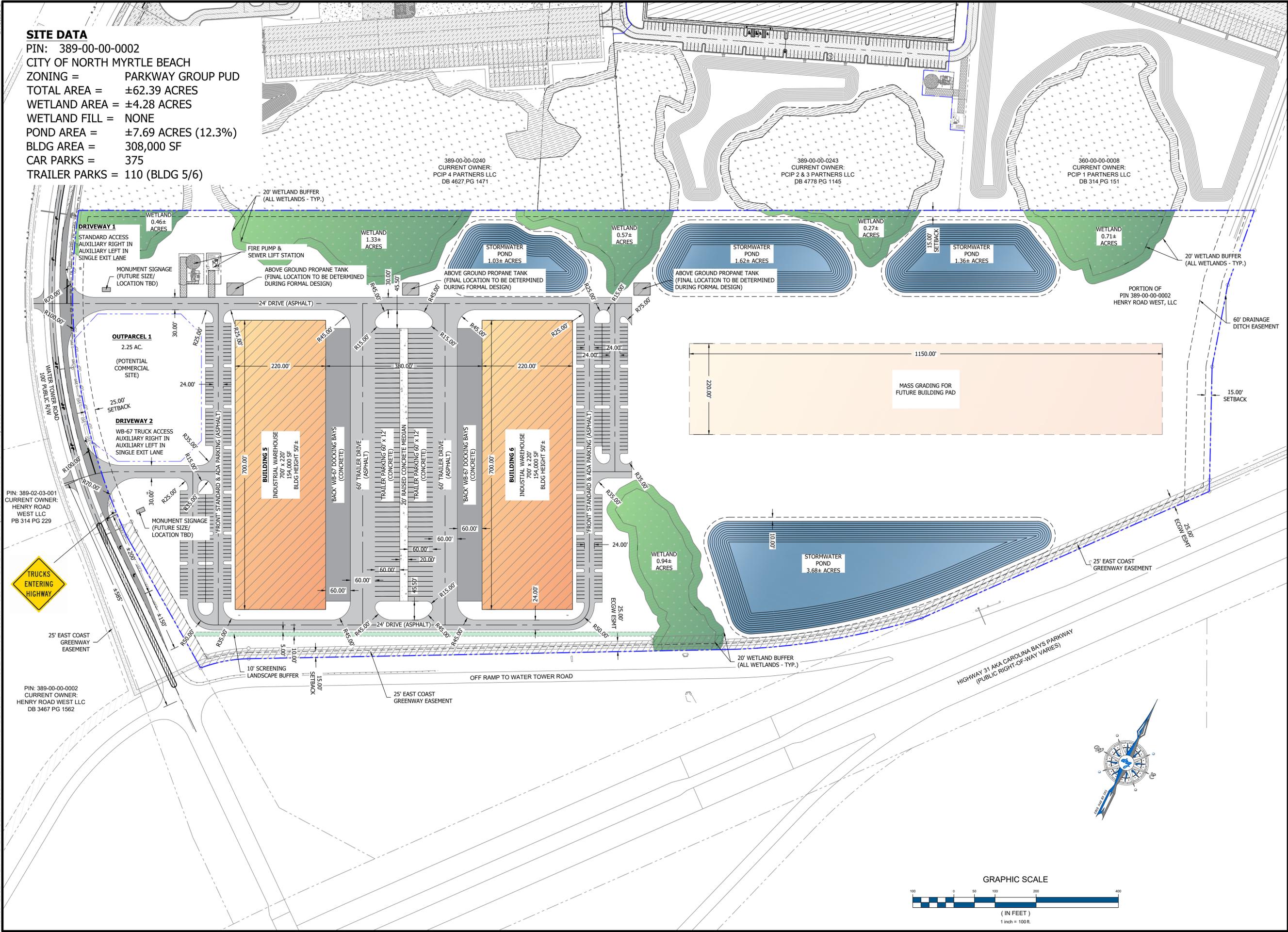


DEVELOPMENT RESOURCE GROUP, LLC  
4703 OLEANDER DRIVE  
MYRTLE BEACH, SC 29577  
843-839-3350 | DRGPLLC.COM

MASTER SITE PLAN 4  
PALMETTO COAST INDUSTRIAL PARK  
PHASE 4 & 5 (BLDGS 5/6/7)

JOB NO: 24.106  
SCALE: 1" = 100'  
DRAWN BY: MES  
CHECKED BY: MES  
DATE: 11/21/2024  
EXHIBIT NUMBER:

MSP-4



PIN: 389-02-03-001  
CURRENT OWNER:  
HENRY ROAD WEST LLC  
PB 314 PG 229

PIN: 389-00-00-0002  
CURRENT OWNER:  
HENRY ROAD WEST LLC  
DB 3467 PG 1562

389-00-00-0240  
CURRENT OWNER:  
PCIP 4 PARTNERS LLC  
DB 4627 PG 1471

389-00-00-0243  
CURRENT OWNER:  
PCIP 2 & 3 PARTNERS LLC  
DB 4778 PG 1145

360-00-00-0008  
CURRENT OWNER:  
PCIP 1 PARTNERS LLC  
DB 314 PG 151

PORTION OF  
PIN 389-00-00-0002  
HENRY ROAD WEST, LLC

20' WETLAND BUFFER  
(ALL WETLANDS - TYP.)

20' WETLAND BUFFER  
(ALL WETLANDS - TYP.)

STORMWATER POND  
1.62± ACRES

STORMWATER POND  
1.36± ACRES

1150.00'  
220.00'  
MASS GRADING FOR  
FUTURE BUILDING PAD

STORMWATER POND  
3.68± ACRES

WETLAND  
0.94±  
ACRES

WETLAND  
0.46±  
ACRES

WETLAND  
1.33±  
ACRES

WETLAND  
0.57±  
ACRES

WETLAND  
0.27±  
ACRES

WETLAND  
0.71±  
ACRES

DRIVEWAY 1  
STANDARD ACCESS  
AUXILIARY RIGHT IN  
AUXILIARY LEFT IN  
SINGLE EXIT LANE

OUTPARCEL 1  
2.25 AC.  
(POTENTIAL  
COMMERCIAL  
SITE)

DRIVEWAY 2  
WB-67 TRUCK ACCESS  
AUXILIARY RIGHT IN  
AUXILIARY LEFT IN  
SINGLE EXIT LANE

MONUMENT SIGNAGE  
(FUTURE SIZE/  
LOCATION TBD)

MONUMENT SIGNAGE  
(FUTURE SIZE/  
LOCATION TBD)

25' EAST COAST  
GREENWAY  
EASEMENT

10' SCREENING  
LANDSCAPE BUFFER

15.00'  
SETBACK

25' EAST COAST  
GREENWAY EASEMENT

24' DRIVE (ASPHALT)

60' TRAILER DRIVE  
(ASPHALT)

60' TRAILER DRIVE  
(ASPHALT)

60' TRAILER DRIVE  
(ASPHALT)

60' TRAILER DRIVE  
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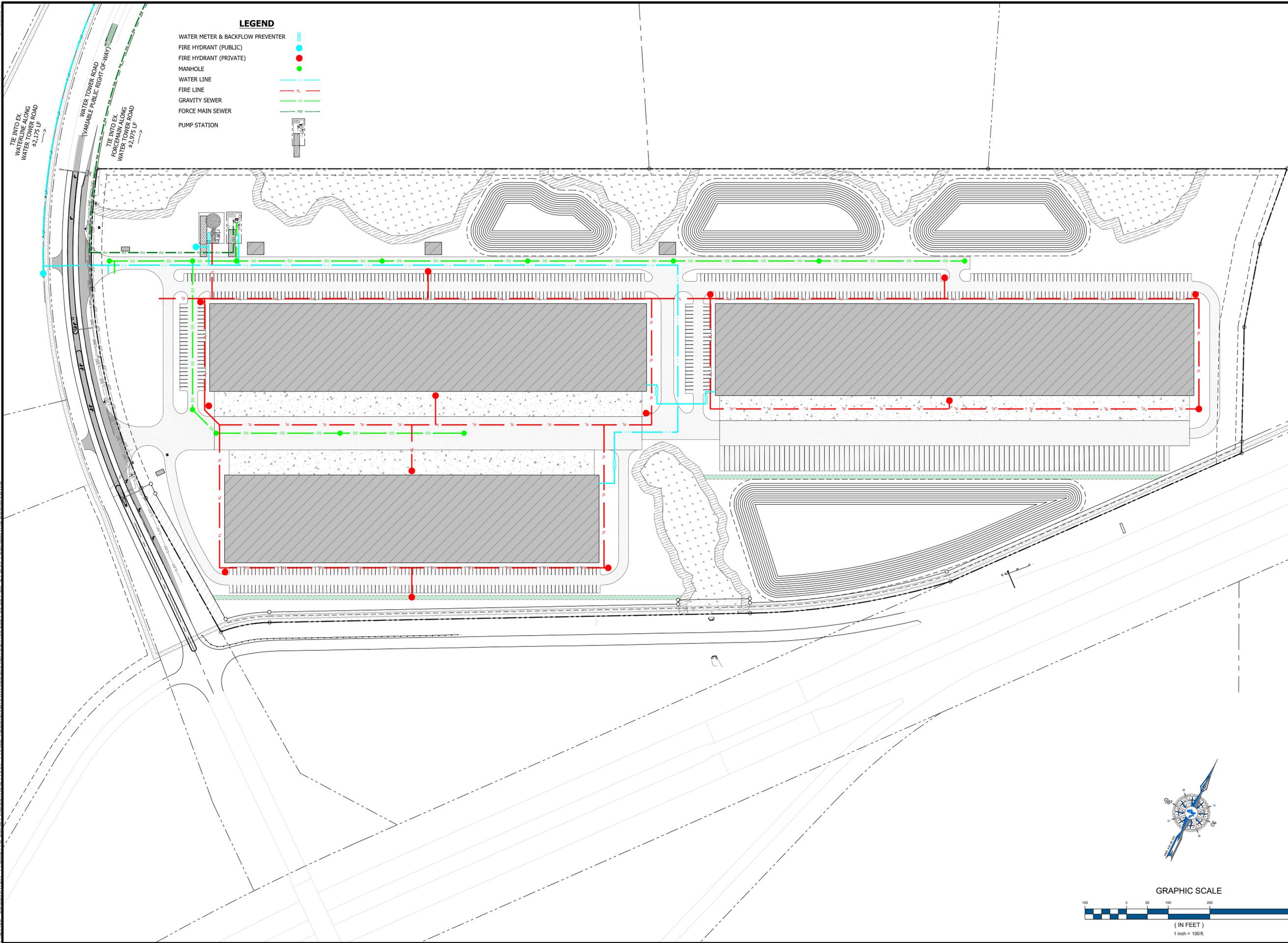
60' TRAILER DRIVE  
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(ASPHALT)

## **SCHEMATIC UTILITY PLANS**

**LEGEND**

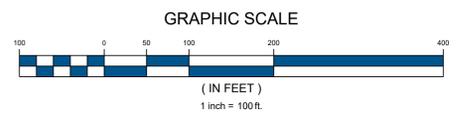
- WATER METER & BACKFLOW PREVENTER 
- FIRE HYDRANT (PUBLIC) 
- FIRE HYDRANT (PRIVATE) 
- MANHOLE 
- WATER LINE 
- FIRE LINE 
- GRAVITY SEWER 
- FORCE MAIN SEWER 
- PUMP STATION 



DEVELOPMENT RESOURCE GROUP, LLC  
4703 OLEANDER DRIVE  
MYRTLE BEACH, SC 29577  
843-839-3350 | DRGPLLC.COM

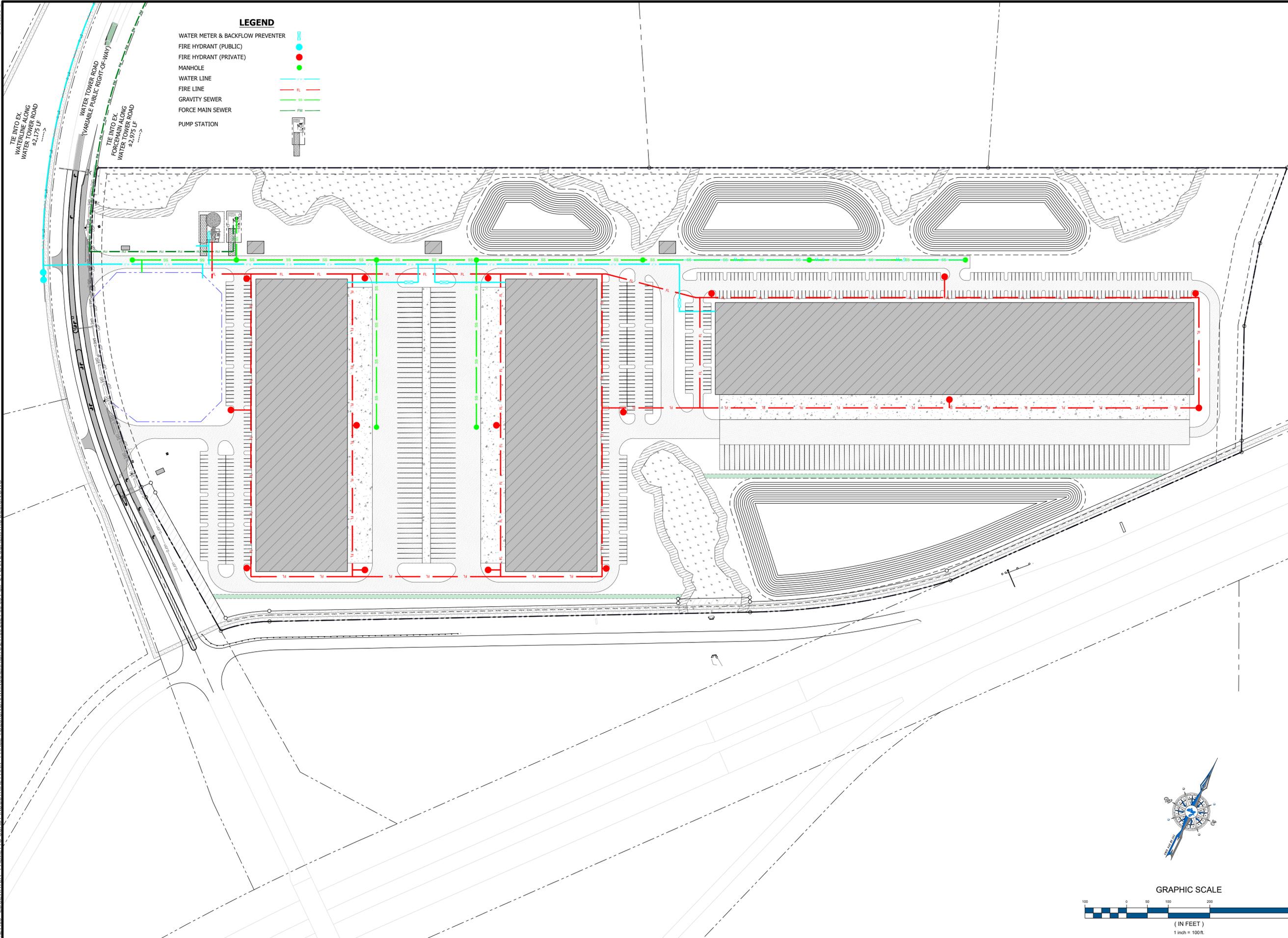
**PALMETTO COAST INDUSTRIAL PARK - PHASE 4  
LAND PLAN 1 SCHEMATIC UTILITIES**

**EDGEWATER INDUSTRIAL ACQUISITIONS, LLC**



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| JOB NO:         | 24106      |
| SCALE:          | 1" = 100'  |
| DRAWN BY:       | PJC        |
| CHECKED BY:     | MES        |
| DATE:           | 11/21/2024 |
| EXHIBIT NUMBER: |            |

**U-1**

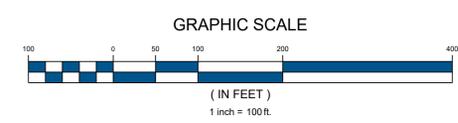


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**PALMETTO COAST INDUSTRIAL PARK - PHASE 4  
LAND PLAN 2 SCHEMATIC UTILITIES**  
**EDGEWATER INDUSTRIAL ACQUISITIONS, LLC**

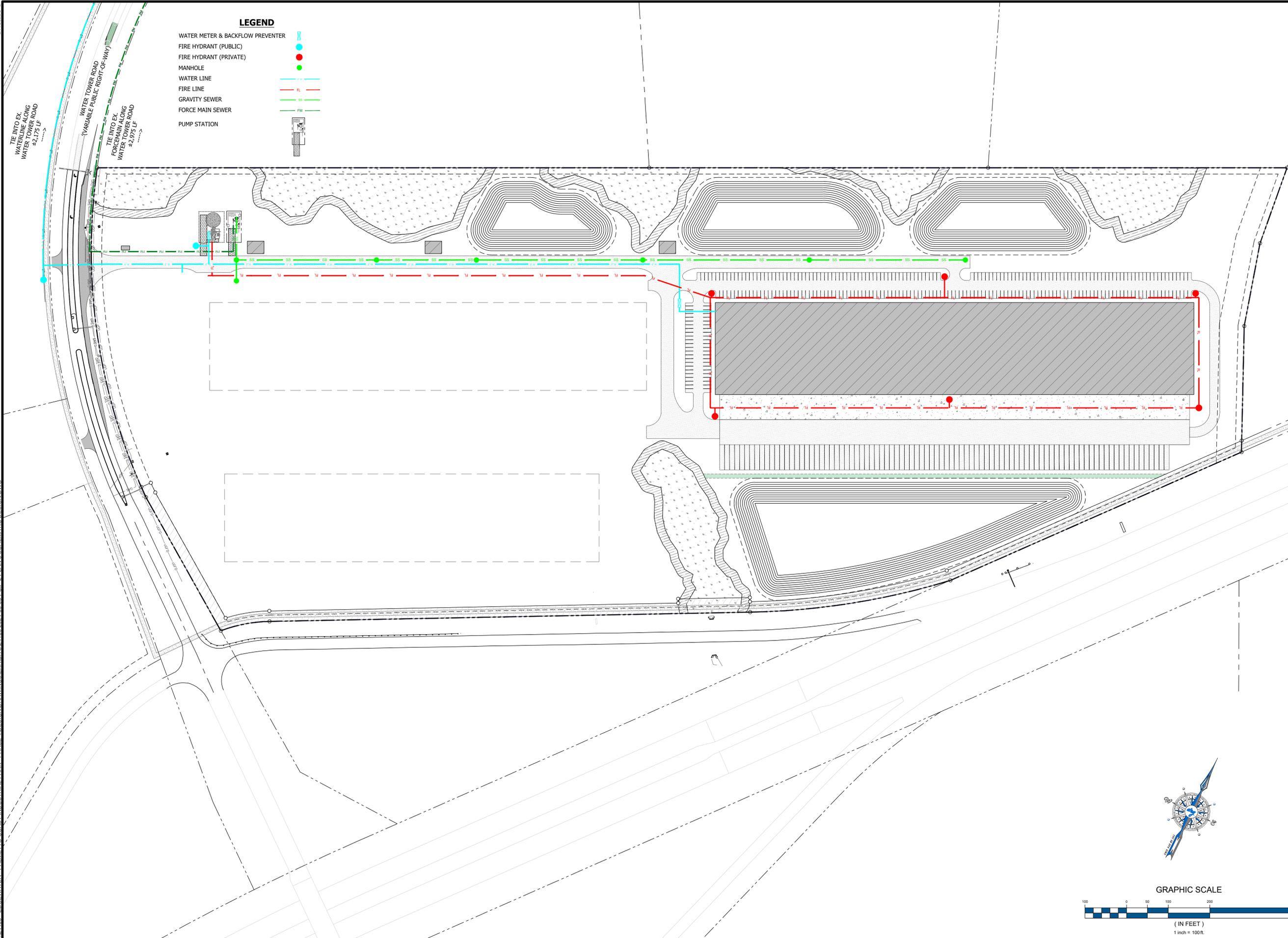
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**U-2**



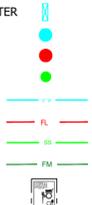
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DRG, LLC ©

P:\24\08 - EDGEWATER - PALMETTO COAST INDUSTRIAL PARK - PHASE 4\DESIGN\DRAWINGS\EXHIBITS\24108-2024-09-05 PCIP 2 PLAN 3 SCHEMATIC DESIGN.DWG



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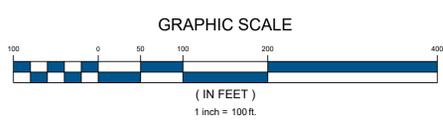
- WATER METER & BACKFLOW PREVENTER
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- FIRE HYDRANT (PRIVATE)
- MANHOLE
- WATER LINE
- FIRE LINE
- GRAVITY SEWER
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- PUMP STATION



DEVELOPMENT RESOURCE GROUP, LLC  
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 MYRTLE BEACH, SC 29577  
 843-839-3350 | DRGPLLC.COM

**PALMETTO COAST INDUSTRIAL PARK - PHASE 4  
 LAND PLAN 3 SCHEMATIC UTILITIES**

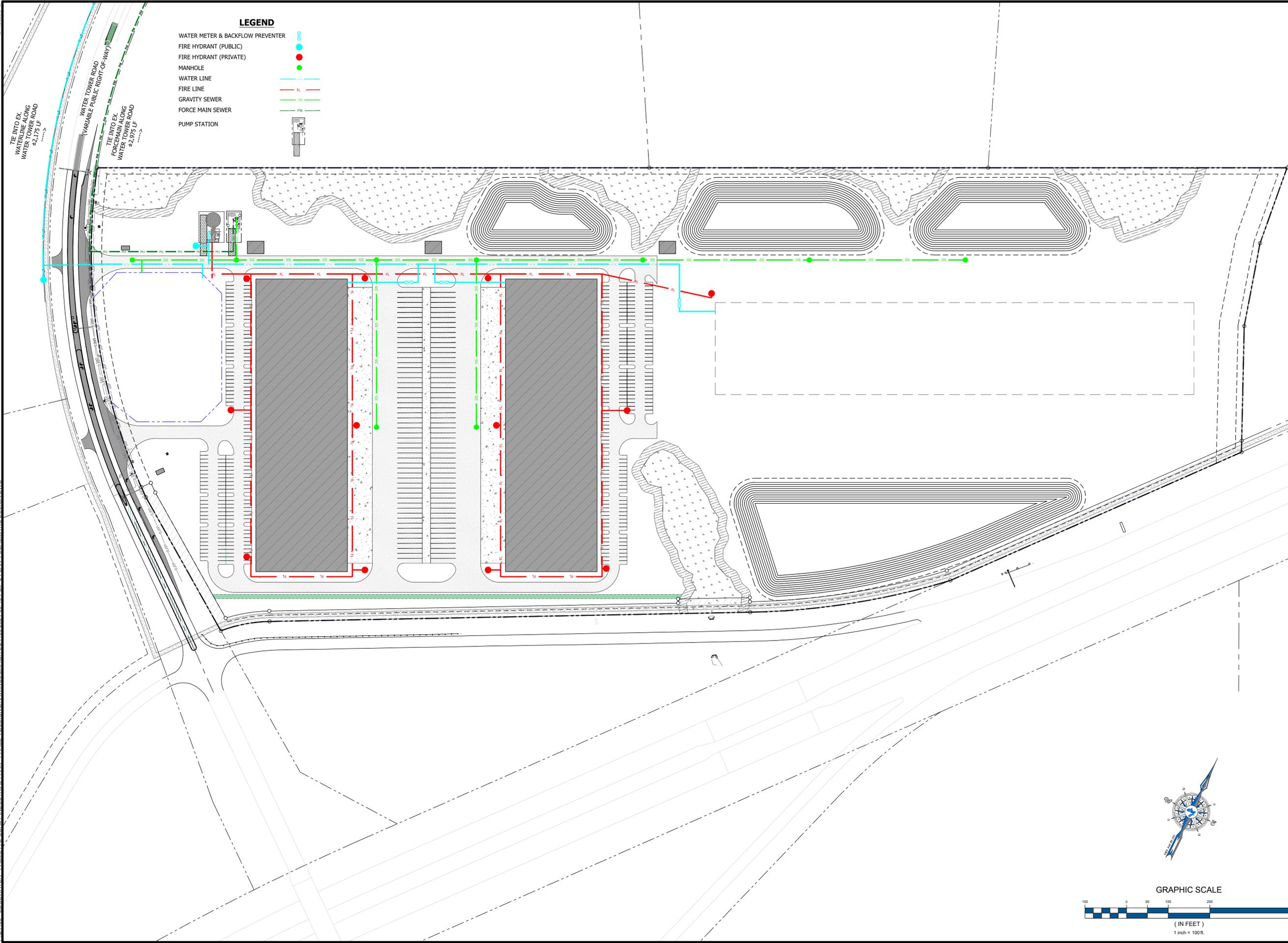
**EDGEWATER INDUSTRIAL ACQUISITIONS, LLC**



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| CHECKED BY:     | MES        |
| DATE:           | 11/21/2024 |
| EXHIBIT NUMBER: |            |

**U-3**

2024-11-21 DRG,LLC ©  
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**LEGEND**

- WATER METER & BACKFLOW PREVENTER
- FIRE HYDRANT (PUBLIC)
- FIRE HYDRANT (PRIVATE)
- MANHOLE
- WATER LINE
- FIRE LINE
- GRAVITY SEWER
- FORCE MAIN SEWER
- PUMP STATION



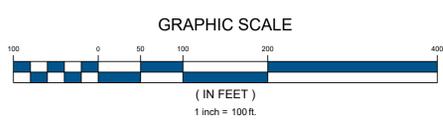
DEVELOPMENT RESOURCE GROUP, LLC  
4703 OLEANDER DRIVE  
MYRTLE BEACH, SC 29577  
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**PALMETTO COAST INDUSTRIAL PARK - PHASE 4  
LAND PLAN 4 SCHEMATIC UTILITIES**

**EDGEWATER INDUSTRIAL ACQUISITIONS, LLC**

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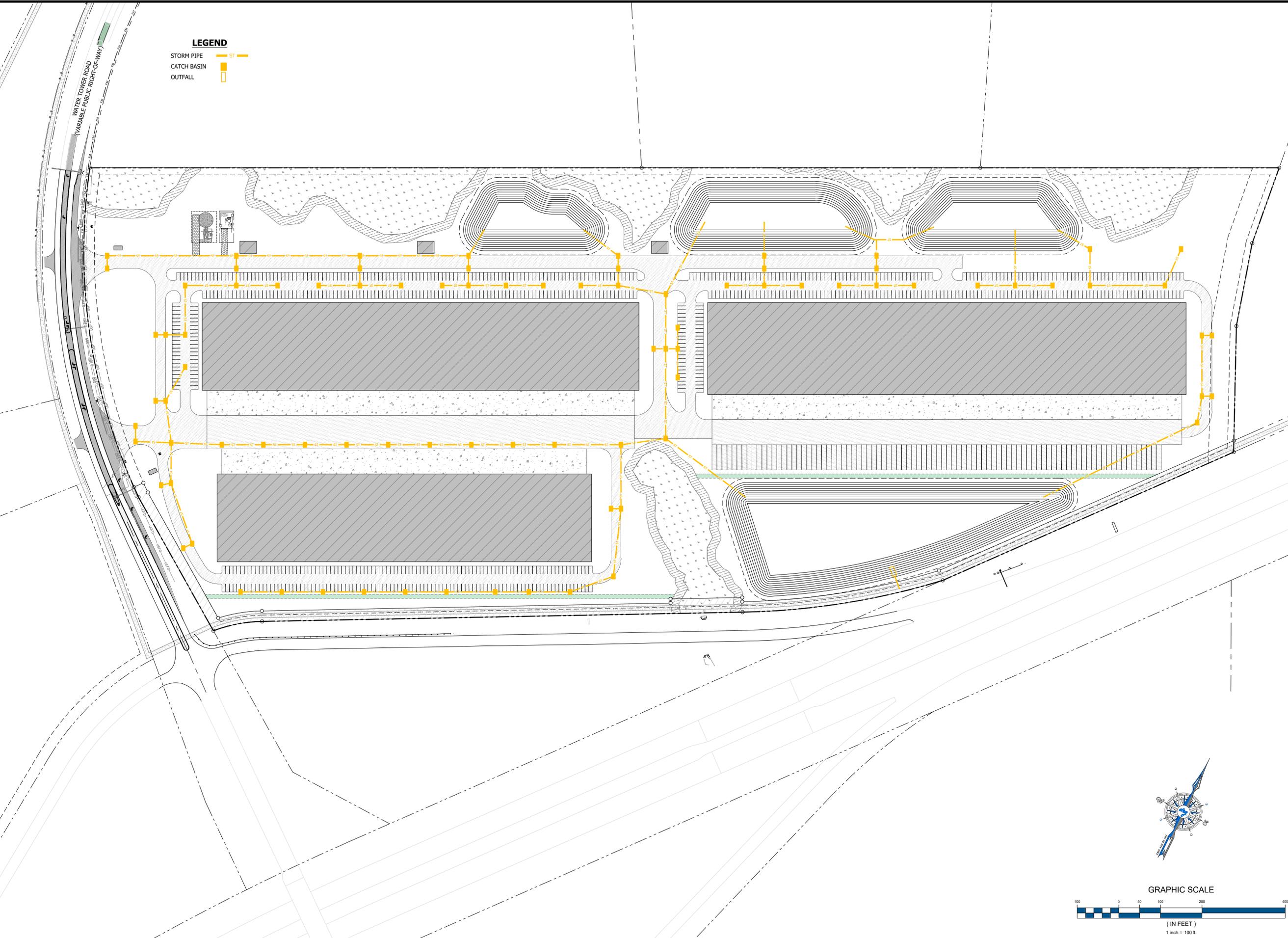
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## **SCHEMATIC DRAINAGE PLANS**

2024-11-21  
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**LEGEND**

- STORM PIPE
- CATCH BASIN
- OUTFALL



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 843-839-3350 | DRGPLLC.COM

**PALMETTO COAST INDUSTRIAL PARK - PHASE 4  
 LAND PLAN 1 SCHEMATIC DRAINAGE**

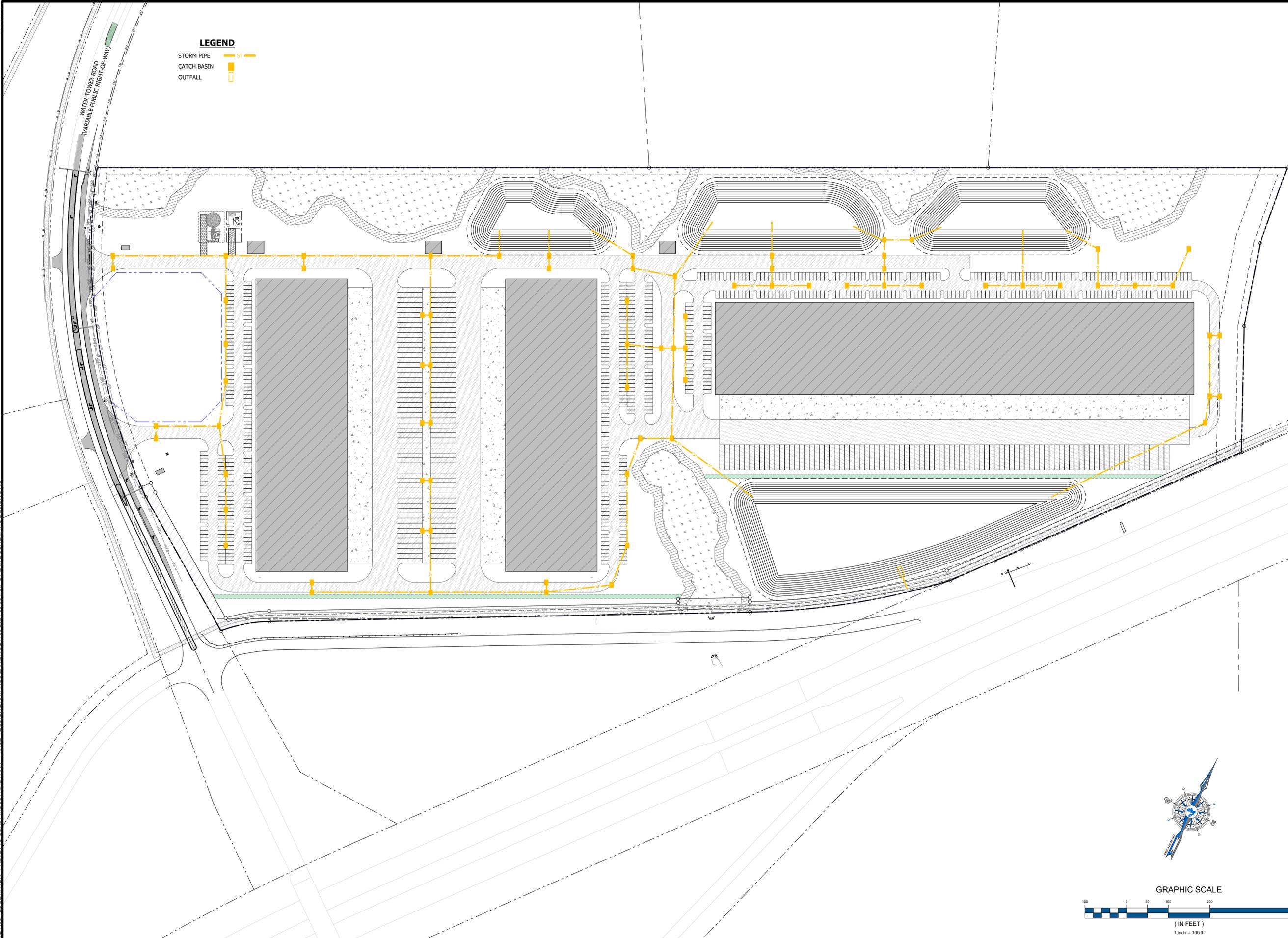
**EDGEWATER INDUSTRIAL ACQUISITIONS, LLC**

JOB NO: 24106  
 SCALE: 1" = 100'  
 DRAWN BY: PJC  
 CHECKED BY: MES  
 DATE: 11/21/2024  
 EXHIBIT NUMBER:

**D-1**

GRAPHIC SCALE

( IN FEET )  
 1 inch = 100 ft.



**LEGEND**

- STORM PIPE
- CATCH BASIN
- OUTFALL



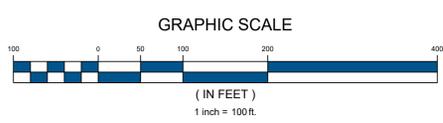
DEVELOPMENT RESOURCE GROUP, LLC  
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MYRTLE BEACH, SC 29577  
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**PALMETTO COAST INDUSTRIAL PARK - PHASE 4  
LAND PLAN 2 SCHEMATIC DRAINAGE**

**EDGEWATER INDUSTRIAL ACQUISITIONS, LLC**

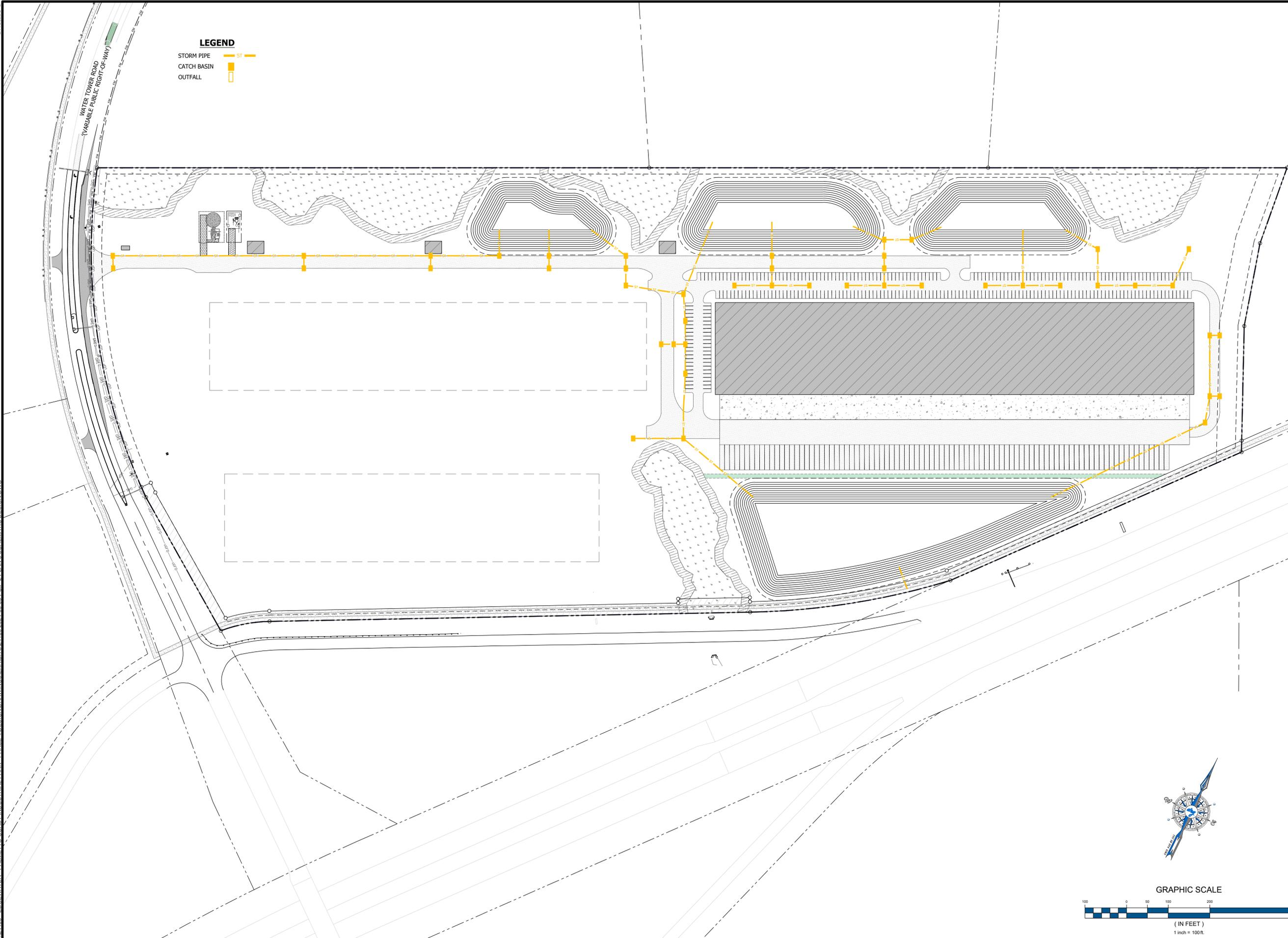
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CHECKED BY: MES  
DATE: 11/21/2024  
EXHIBIT NUMBER:

**D-2**



2024-11-21  
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**LEGEND**

- STORM PIPE
- CATCH BASIN
- OUTFALL



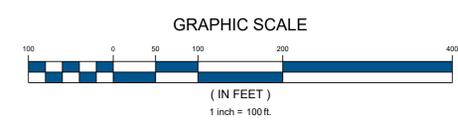
DEVELOPMENT RESOURCE GROUP, LLC  
4703 OLEANDER DRIVE  
MYRTLE BEACH, SC 29577  
843-839-3350 | DRGPLLC.COM

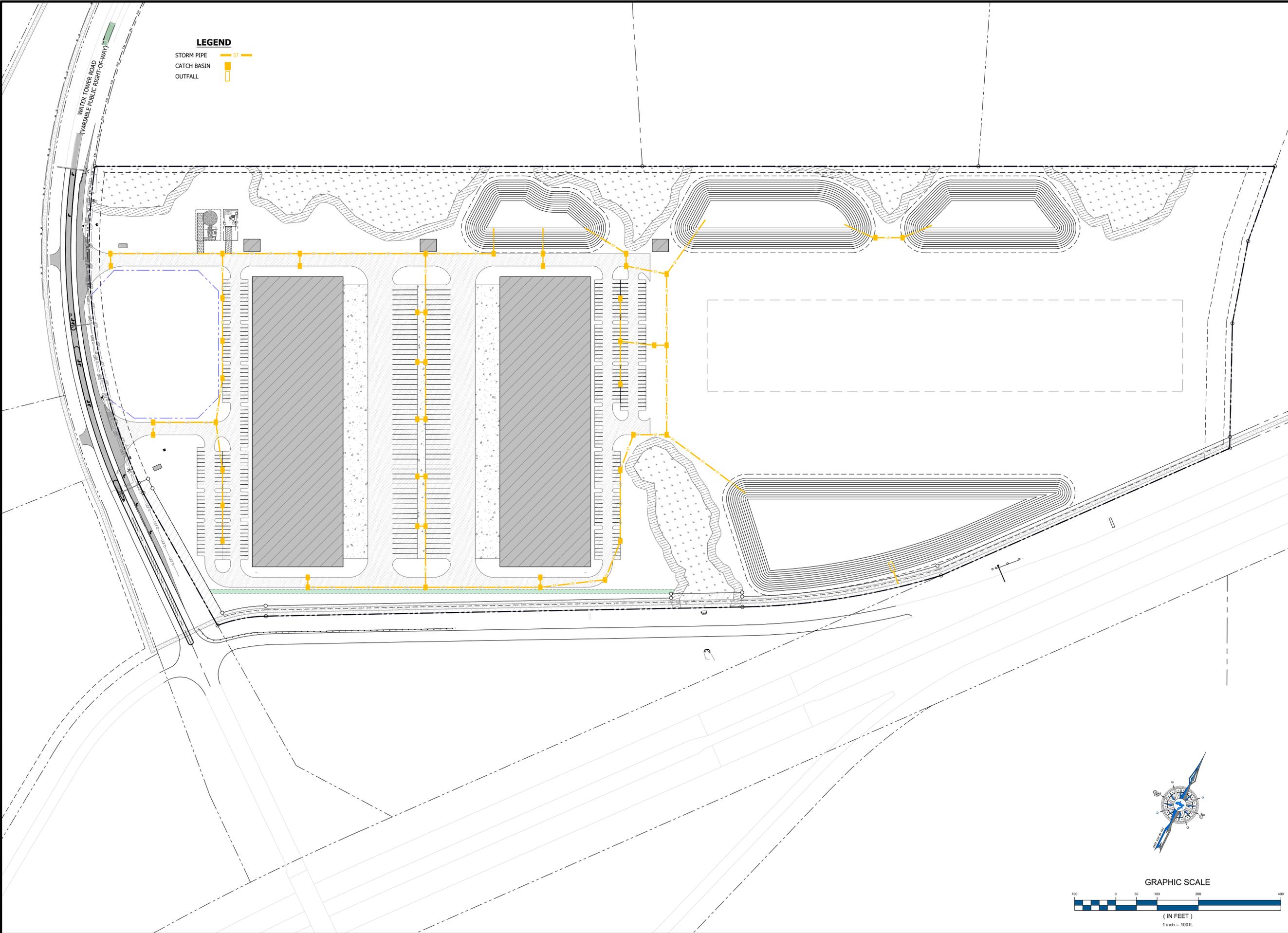
**PALMETTO COAST INDUSTRIAL PARK - PHASE 4  
LAND PLAN 3 SCHEMATIC DRAINAGE**

**EDGEWATER INDUSTRIAL ACQUISITIONS, LLC**

JOB NO: 24106  
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CHECKED BY: MES  
DATE: 11/21/2024  
EXHIBIT NUMBER:

**D-3**





**LEGEND**

- STORM PIPE
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- OUTFALL



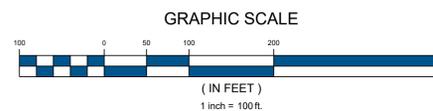
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**PALMETTO COAST INDUSTRIAL PARK - PHASE 4  
LAND PLAN 4 SCHEMATIC DRAINAGE**

**EDGEWATER INDUSTRIAL ACQUISITIONS, LLC**

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| JOB NO:         | 24106      |
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| CHECKED BY:     | MES        |
| DATE:           | 11/21/2024 |
| EXHIBIT NUMBER: |            |

**D-4**



## **BUILDING CONCEPTUAL ELEVATIONS**



SIGN













SIGN





SIGN







FRONT ELEVATION



LEFT ELEVATION



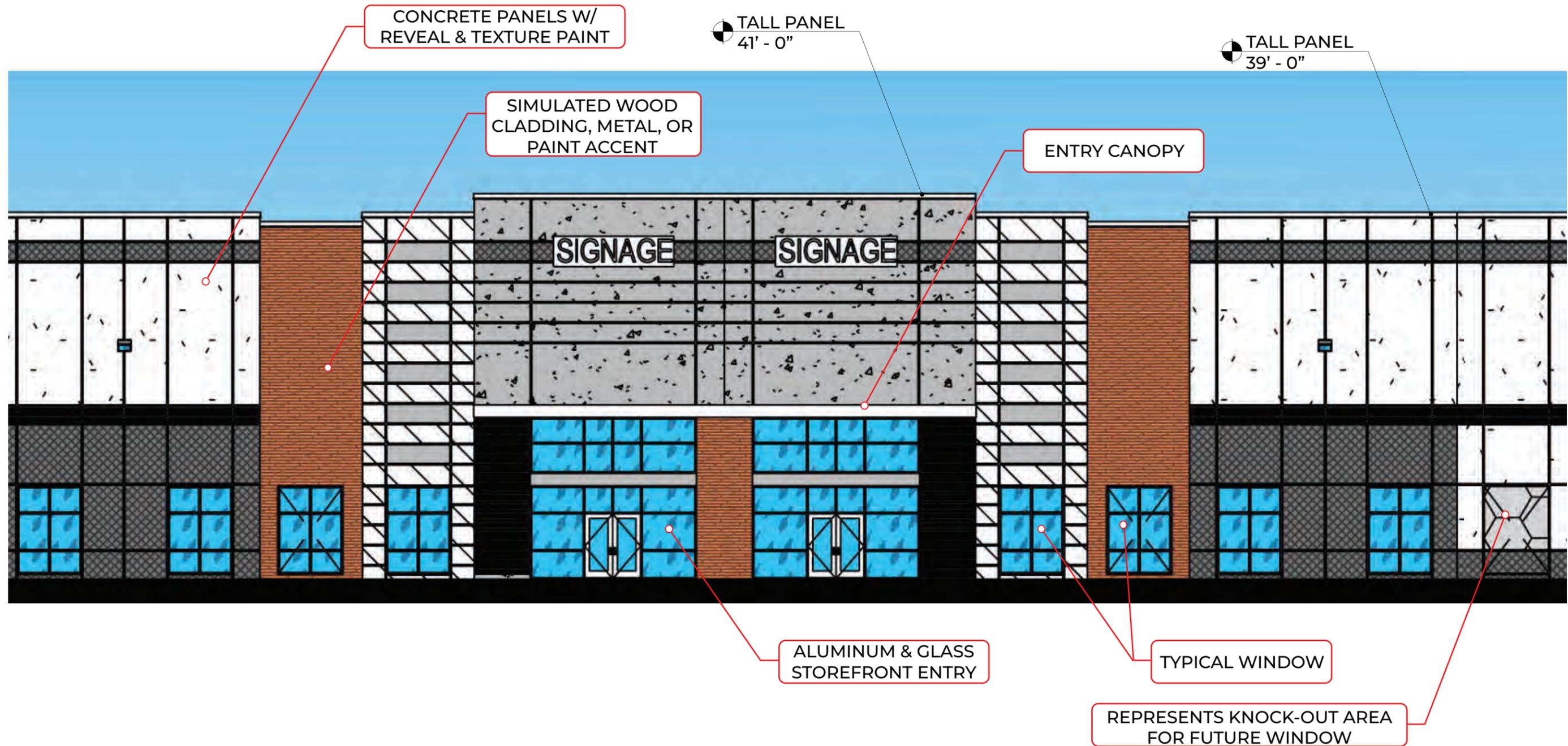
RIGHT ELEVATION



REAR ELEVATION

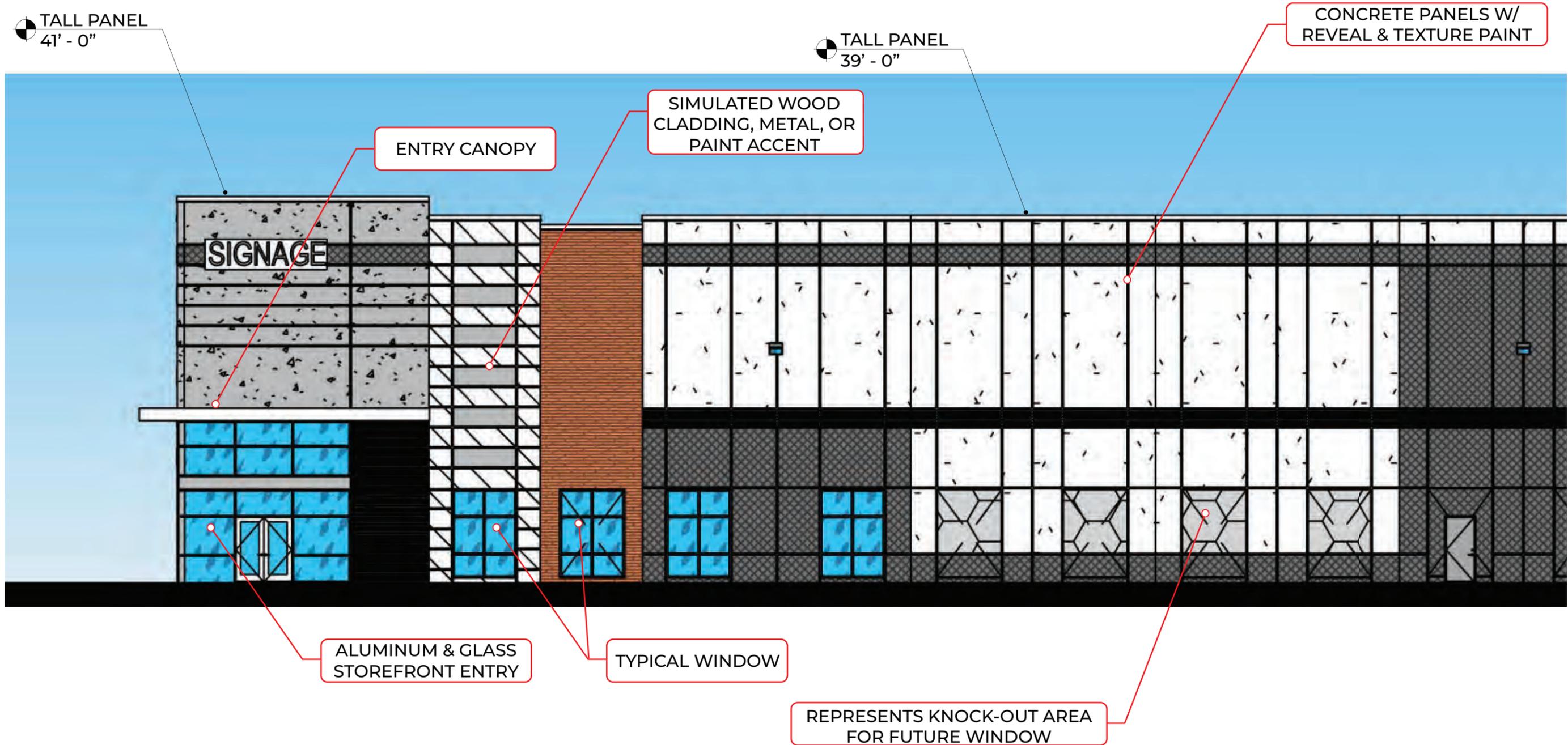
## ELEVATIONS

Option 1 - Bldg 5  
1050' x 210'



## TYPICAL STREET FRONTAGE CENTER

Option 1 - Bldg 5  
1050' x 210'



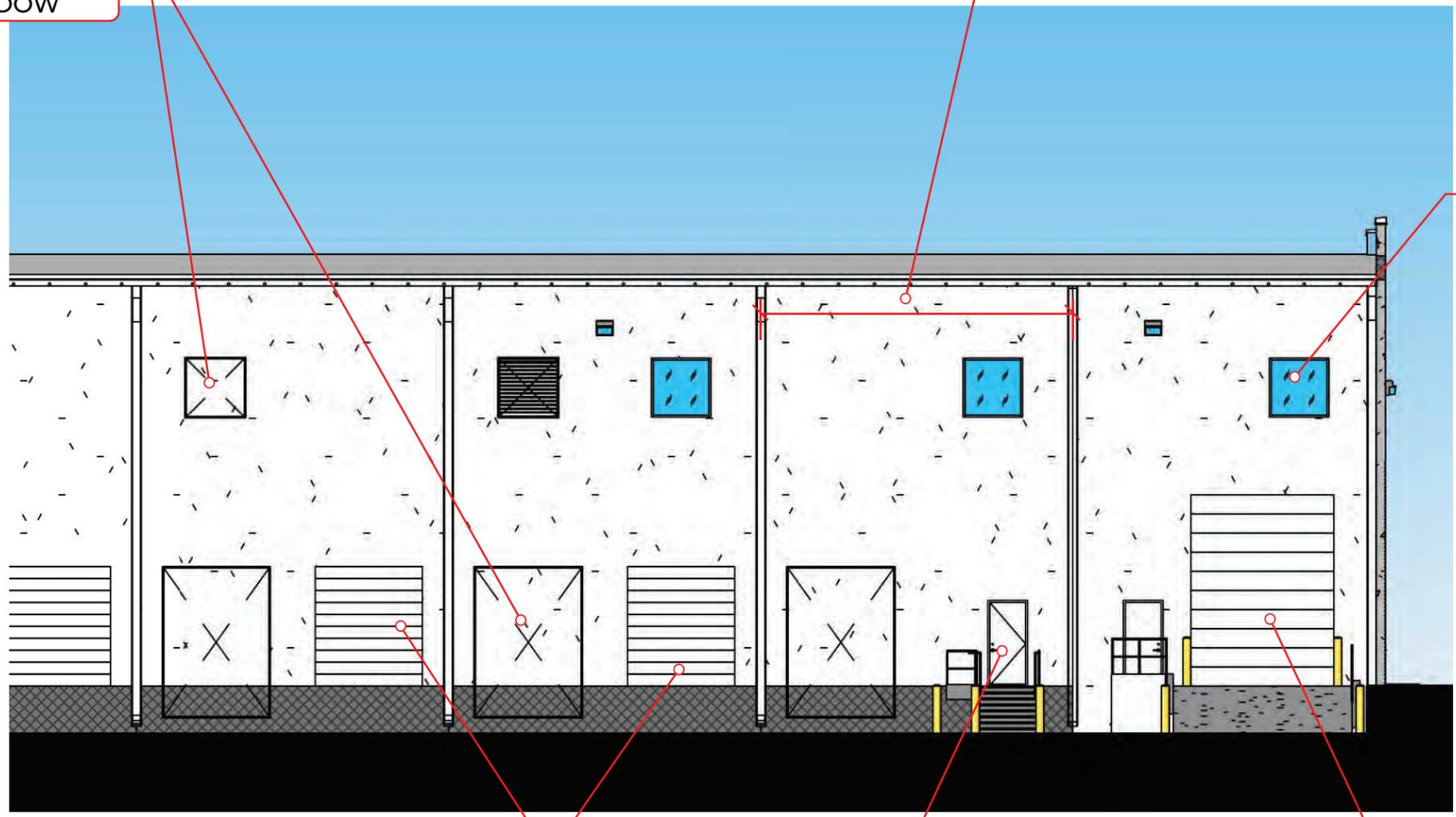
## TYPICAL STREET FRONTAGE SIDE

Option 1 - Bldg 5  
1050' x 210'

REPRESENTS KNOCK-OUT  
AREA FOR FUTURE DOOR  
AND/OR WINDOW

TYPICAL BAY MAY CONSIST OF  
ANY COMBINATION OF ELEMENTS  
DISPLATED ON THIS RENDERING  
INCLUDING BUT NOT LIMITED TO,  
KNOCK-OUT PANELS, DOORS,  
WINDOWS, LOUVERS, RAMPS  
AND/OR STAIRS

TYPICAL CLEARSTORY  
WINDOW. MAY BE  
SUBSTITUTED FOR A  
LOUVER TO PREMOTE  
AIR CIRCULATION



STANDARD GREY OR WHITE METAL DOCK  
DOOR WITH VIEW LIGHT. DOCK DOORS LIKELY  
TO INCLUDE TENANT-SPECIFIC EQUIPMENT  
INCLUDING, BUT NOT LIMITED TO, SEALS, BUMPER,  
LEVELERS, DOCK LOCKS, LIGHTS AND/OR CANOPIES

TYPICAL PERSONNEL  
DOOR W/ METAL STAIR

METAL DOOR W/  
DRIVE-IN RAMP

## TYPICAL SERVICE ELEVATION (REAR)

Option 1 - Bldg 5  
1050' x 210'





2907 Providence Rd  
Suite 304  
Charlotte, NC 28211

Tel: 704.342.9876  
Fax: 704.334.4246

wgmdesign.com

Issued For  
Reference Only

CIP REAL ESTATE

BUILDING 6

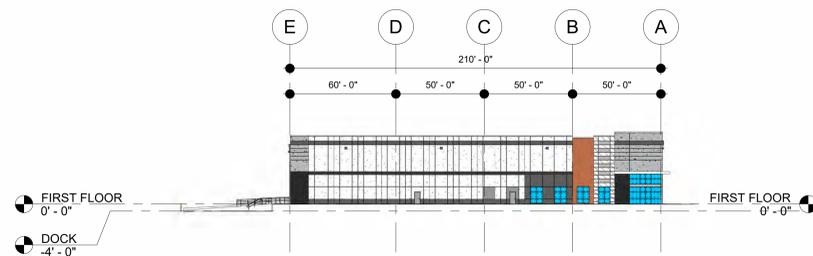
OPTION 1  
WATER TOWER ROAD, SC

**PAINT NOTES**  
PAINT ALL CONCRETE "#1" UNO

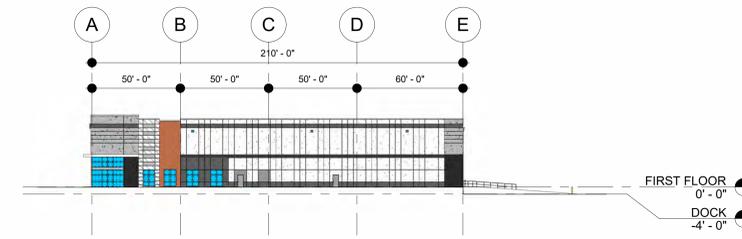
-  PAINT #1; FIELD- REPOSE GRAY (SW 7015)
-  PAINT #2; LIGHT GRAY- MINDFUL GRAY (SW 7016)
-  PAINT #3; WHITE- EIDER WHITE (SW 7014)
-  PAINT #4; MEDIUM GRAY- DOVETAIL (SW 7018)
-  PAINT #5; DARK GRAY- GAUNTLET GRAY (SW 7019)
-  RAIN SCREEN- DIZAL- ALUMINUM FAUX PROFILE WOOD SIDING; 6" V PROFILE (WHITE ASH MEDIUM BROWN)

**EXTERIOR MATERIALS & FINISHES NOTES**

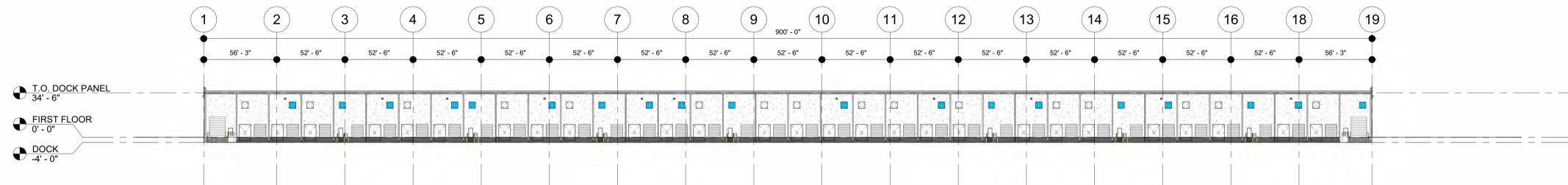
- (1) EXTERIOR RAILINGS, EXTERIOR STAIRS AND EXTERIOR LADDER TO BE GALVANIZED.
- (2) GUTTERS, DOWNSPOUTS AND FLASHING TO BE PRE-FINISHED, PRE-MANUFACTURED, SEAMLESS ALUMINUM, KYNAR FINISH. PROFILES AS INDICATED ON DRAWINGS.
- (3) ALUMINUM COPING AT PARAPET. FACTORY FABRICATED TO SIZES REQUIRED, MITERED, WELDED CORNERS, CONCEALED FASTENERS, CONCEALED, CONTINUOUS HOLD DOWN CLEAT AT BOTH LEGS, INTERNAL SPLICE PIECE AT JOINTS OF SAME MATERIAL THICKNESS, AND FINISH AS CAP, CONCEALED STAINLESS STEEL FASTENERS. KYNAR FINISH.
- (4) CONTRACTOR TO PAINT ONE PANEL MOCK UP FOR APPROVAL. (AT SUN SIDE)
- (5) PROVIDE TINTED PRIMER FOR ALL TEXTURED COATING APPLICATIONS. ALL TEXTURED COATINGS TO BE "MEDIUM TEXTURED".
- (6) EXTERIOR WALL PACKS - SEE ELECTRICAL DRAWINGS.
- (7) MECHANICAL LOUVER METAL TO BE PRE-FINISHED AND MATCH EXISTING BUILDING.
- (8) ROOF COPING TO MATCH EXISTING BUILDING.
- (9) ROOF GUTTERS TO MATCH EXISTING BUILDING.
- (10) ROOF DOWNSPOUTS TO MATCH EXISTING BUILDING.
- (11) ALL INTERIOR AND EXTERIOR BOLLARDS TO BE PAINTED SAFETY YELLOW.



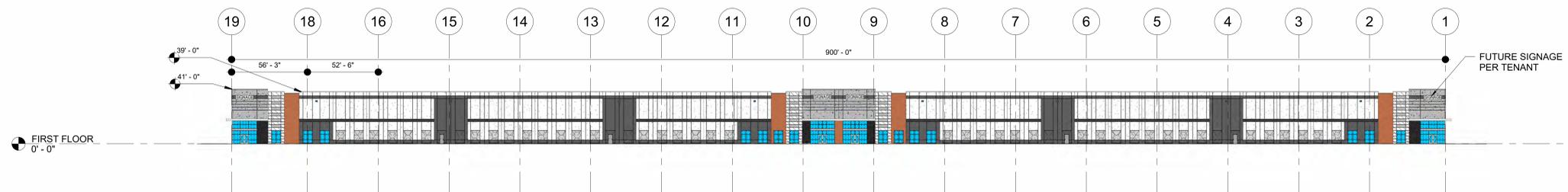
4 SOUTH ELEVATION (LEFT)  
1" = 40'-0"



3 NORTH ELEVATION (RIGHT)  
1" = 40'-0"



2 WEST ELEVATION (DOCK)  
1" = 40'-0"



1 EAST ELEVATION (FRONT)  
1" = 40'-0"

REV. DATE DESCRIPTION

ISSUE DESCRIPTION:  
Progress: Design Development

ISSUE DATE:  
01/18/2024

PROJECT NO.:  
20030.03.02

TITLE:  
OVERALL EXTERIOR ELEVATIONS

DRAWING NO.:  
A-300

18/04/2023/20030.03.02 - Exterior Elevations - CIP



FRONT ELEVATION



LEFT ELEVATION



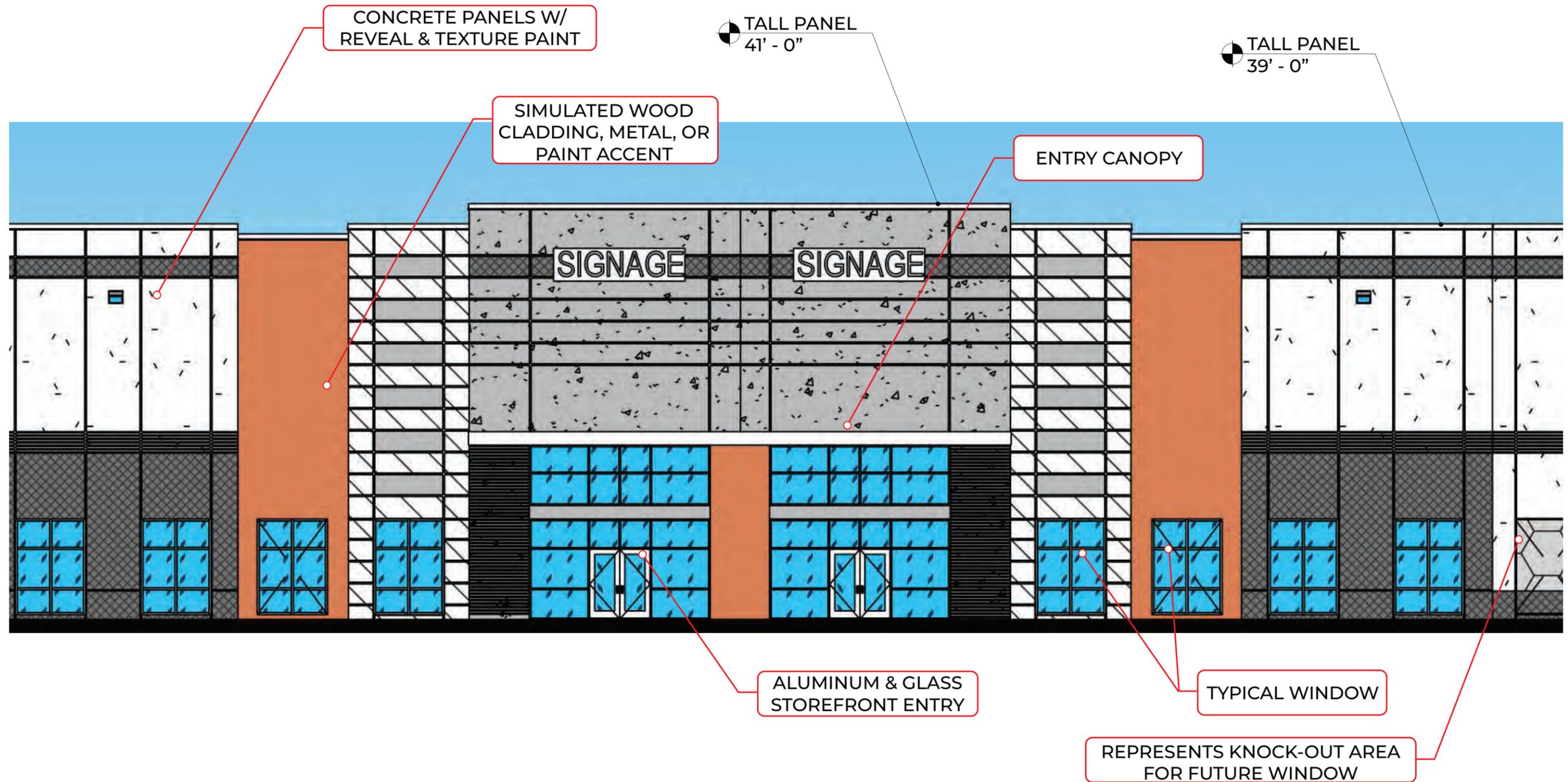
RIGHT ELEVATION



REAR ELEVATION

## ELEVATIONS

Option 1 - Bldg 6  
900' x 210'

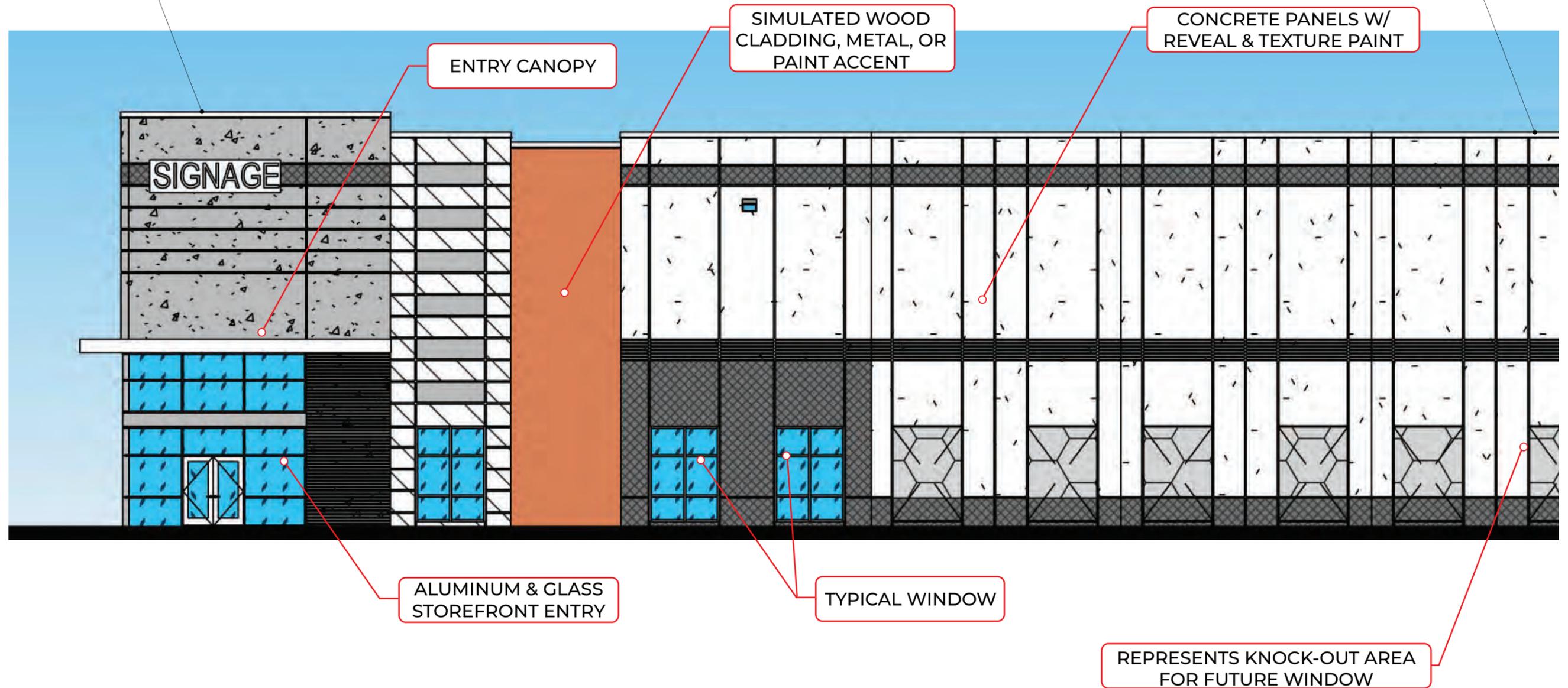


## TYPICAL STREET FRONTAGE CENTER

Option 1 - Bldg 6  
900' x 210'

TALL PANEL  
41' - 0"

TALL PANEL  
39' - 0"



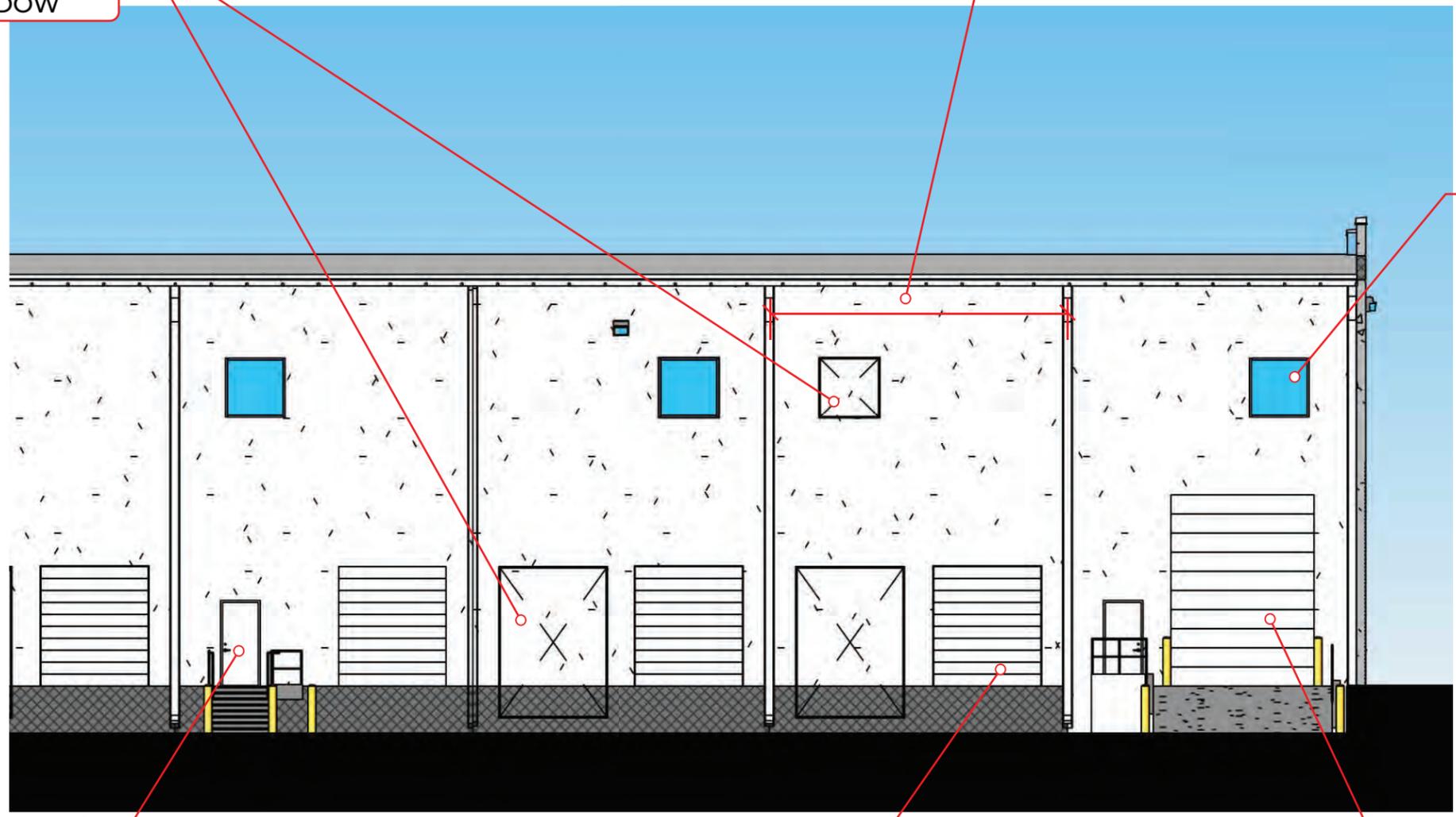
## TYPICAL STREET FRONTAGE SIDE

Option 1 - Bldg 6  
900' x 210'

REPRESENTS KNOCK-OUT  
AREA FOR FUTURE DOOR  
AND/OR WINDOW

TYPICAL BAY MAY CONSIST OF  
ANY COMBINATION OF ELEMENTS  
DISPLATED ON THIS RENDERING  
INCLUDING BUT NOT LIMITED TO,  
KNOCK-OUT PANELS, DOORS,  
WINDOWS, LOUVERS, RAMPS  
AND/OR STAIRS

TYPICAL CLEARSTORY  
WINDOW. MAY BE  
SUBSTITUTED FOR A  
LOUVER TO PREMOTE  
AIR CIRCULATION



TYPICAL PERSONNEL  
DOOR W/ METAL STAIR

STANDARD GREY OR WHITE METAL DOCK  
DOOR WITH VIEW LIGHT. DOCK DOORS LIKELY  
TO INCLUDE TENANT-SPECIFIC EQUIPMENT  
INCLUDING, BUT NOT LIMITED TO, SEALS, BUMBERS,  
LEVELERS, DOCK LOCKS, LIGHTS AND/OR CANOPIES

METAL DOOR W/  
DRIVE-IN RAMP

## TYPICAL SERVICE ELEVATION (REAR)

Option 1 - Bldg 6  
900' x 210'







FRONT ELEVATION



LEFT ELEVATION



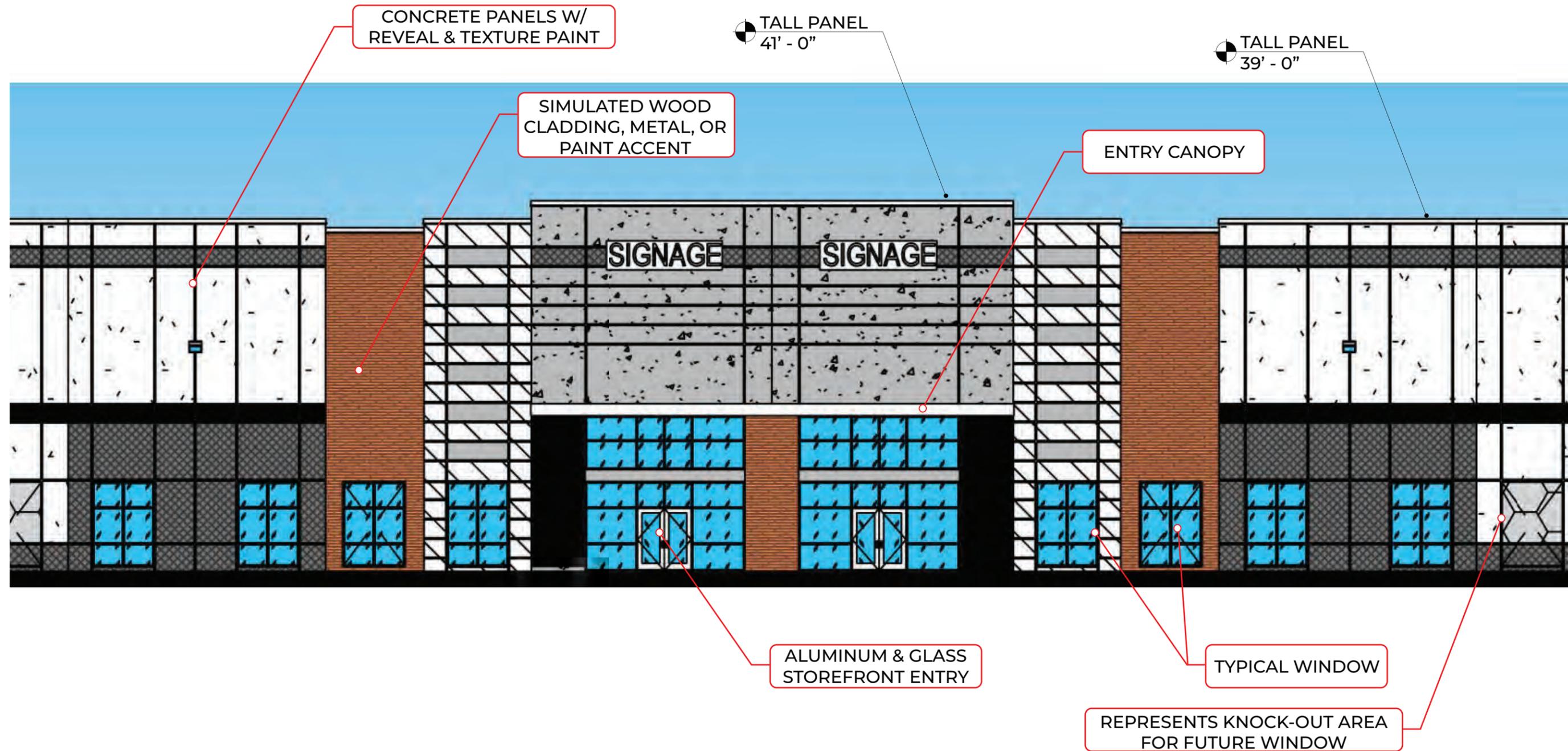
RIGHT ELEVATION



REAR ELEVATION

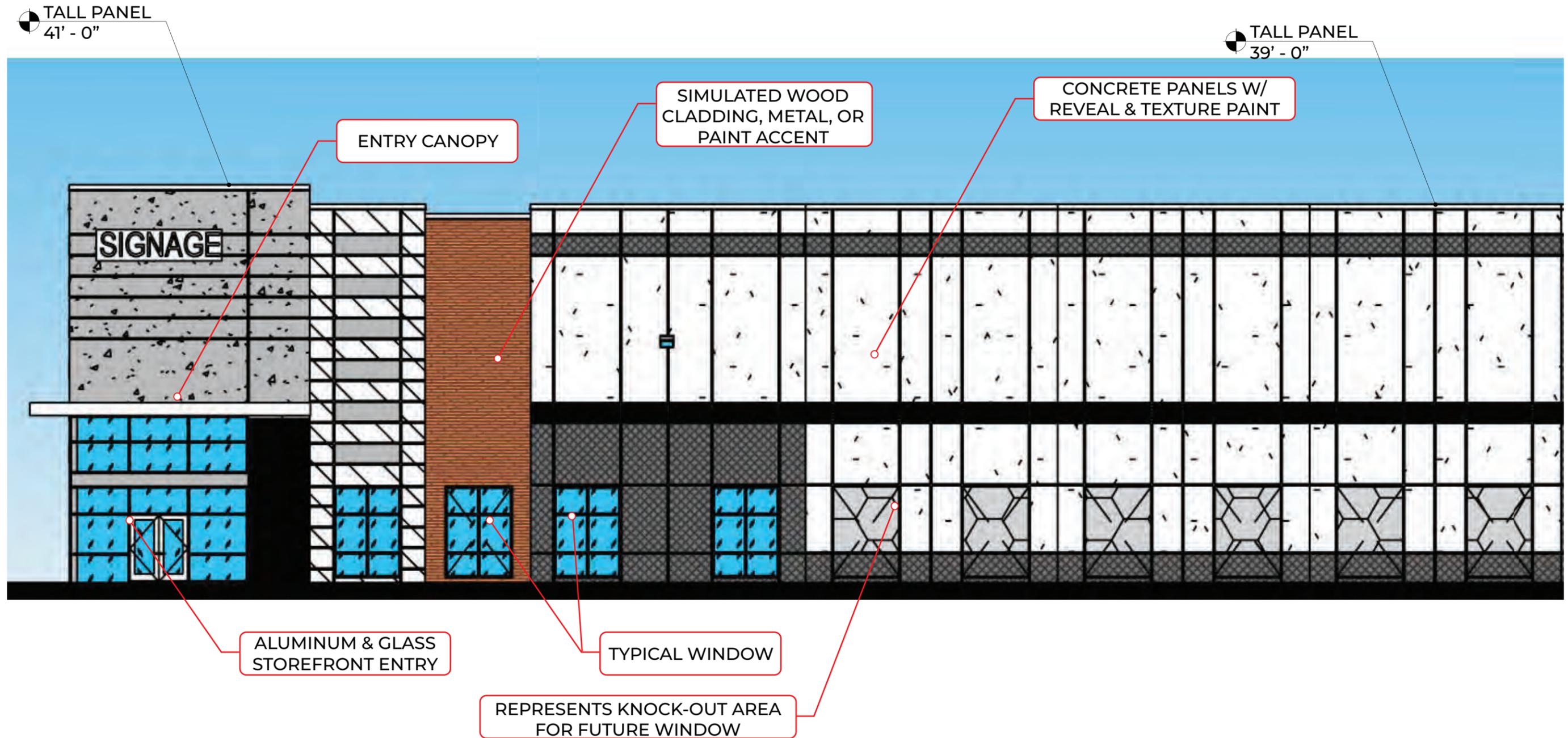
## ELEVATIONS

Option 1 - Bldg 7  
1150' x 220'



## TYPICAL STREET FRONTAGE CENTER

Option 1 - Bldg 7  
1150' x 220'



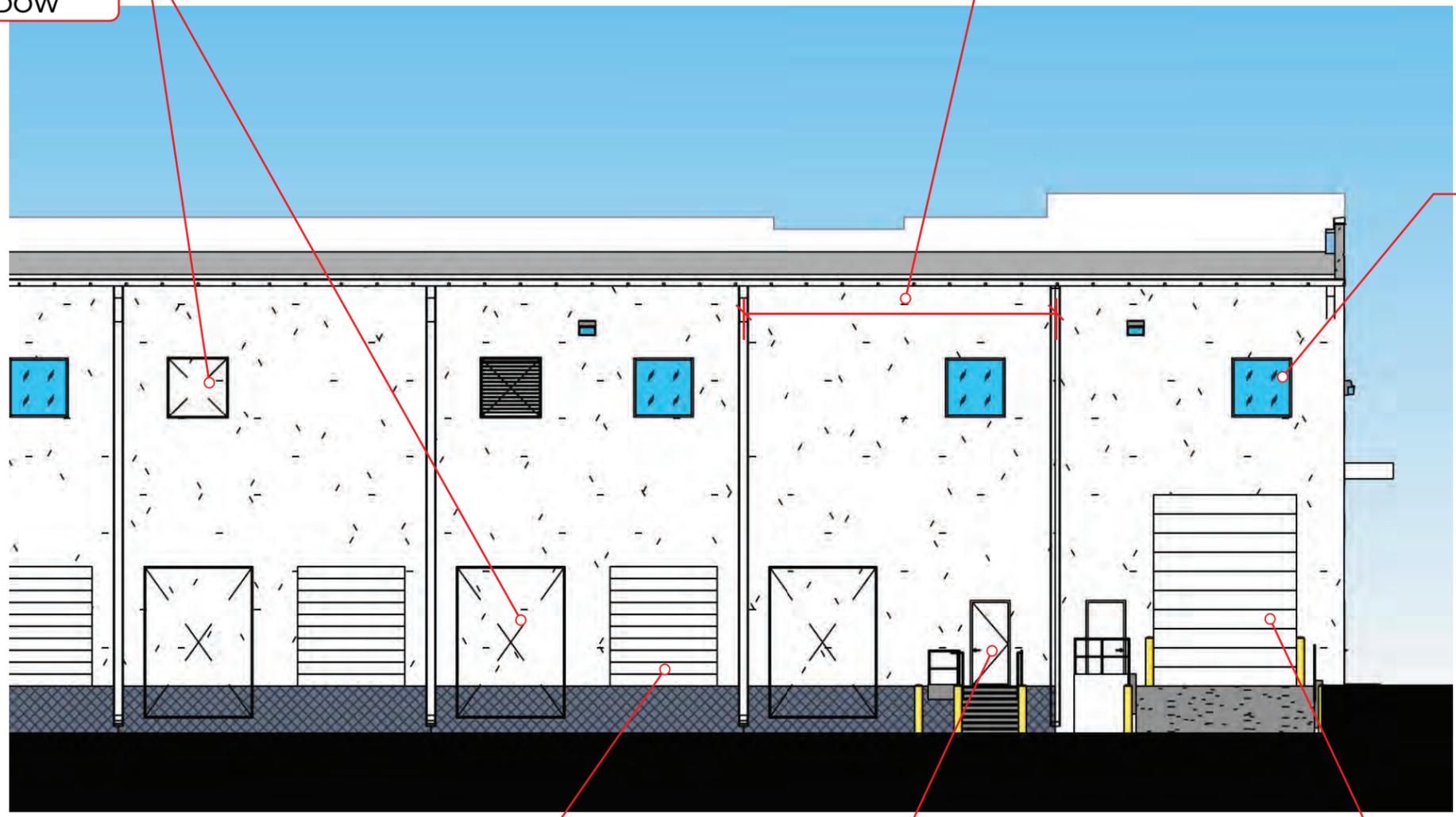
## TYPICAL STREET FRONTAGE SIDE

Option 1 - Bldg 7  
1150' x 220'

REPRESENTS KNOCK-OUT  
AREA FOR FUTURE DOOR  
AND/OR WINDOW

TYPICAL BAY MAY CONSIST OF  
ANY COMBINATION OF ELEMENTS  
DISPLATED ON THIS RENDERING  
INCLUDING BUT NOT LIMITED TO,  
KNOCK-OUT PANELS, DOORS,  
WINDOWS, LOUVERS, RAMPS  
AND/OR STAIRS

TYPICAL CLEARSTORY  
WINDOW. MAY BE  
SUBSTITUTED FOR A  
LOUVER TO PREMOTE  
AIR CIRCULATION



STANDARD GREY OR WHITE METAL DOCK  
DOOR WITH VIEW LIGHT. DOCK DOORS LIKELY  
TO INCLUDE TENANT-SPECIFIC EQUIPMENT  
INCLUDING, BUT NOT LIMITED TO, SEALS, BUMPER,  
LEVELERS, DOCK LOCKS, LIGHTS AND/OR CANOPIES

TYPICAL PERSONNEL  
DOOR W/ METAL STAIR

METAL DOOR W/  
DRIVE-IN RAMP

## TYPICAL SERVICE ELEVATION (REAR)

Option 1 - Bldg 7  
1150' x 220'







FRONT ELEVATION



LEFT ELEVATION



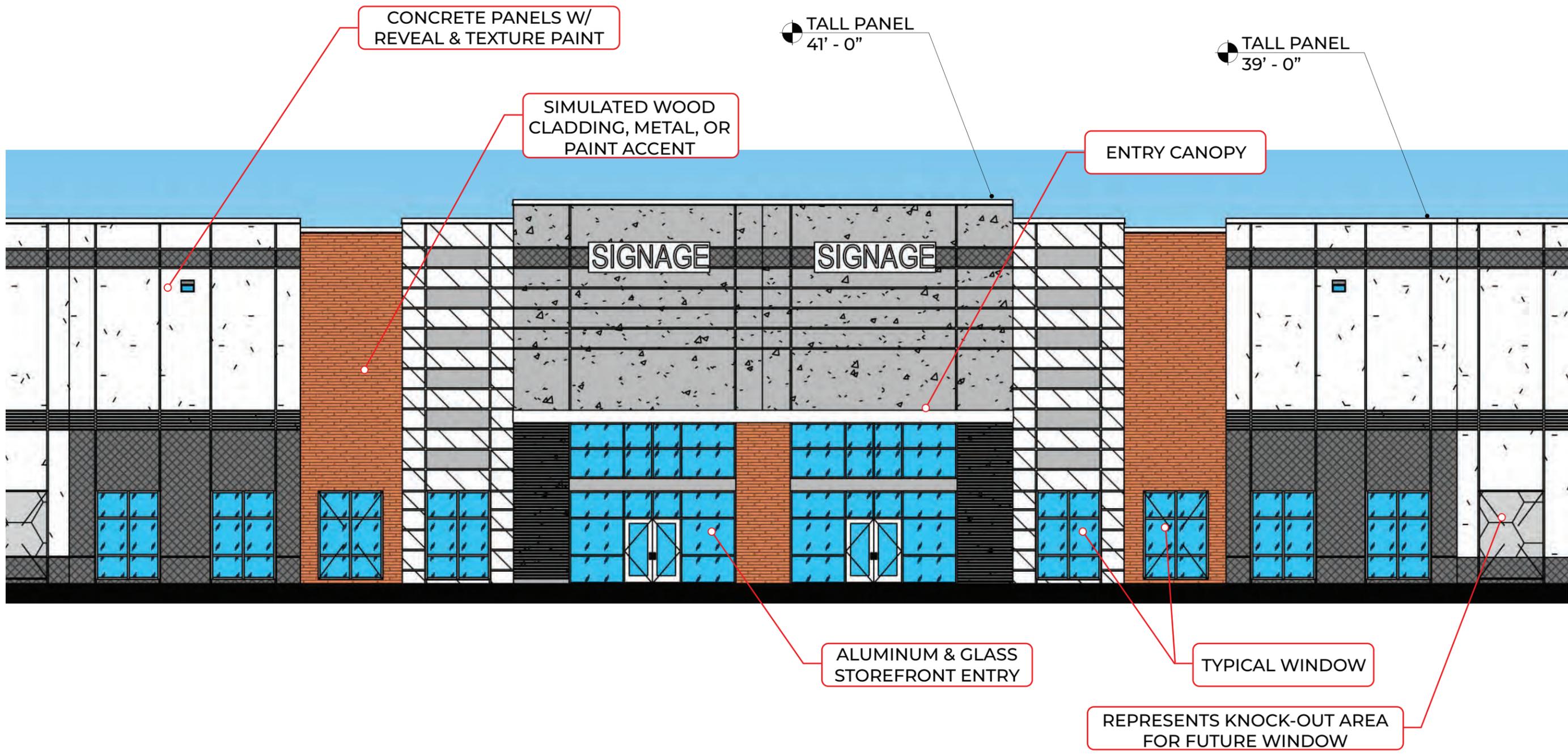
RIGHT ELEVATION



REAR ELEVATION

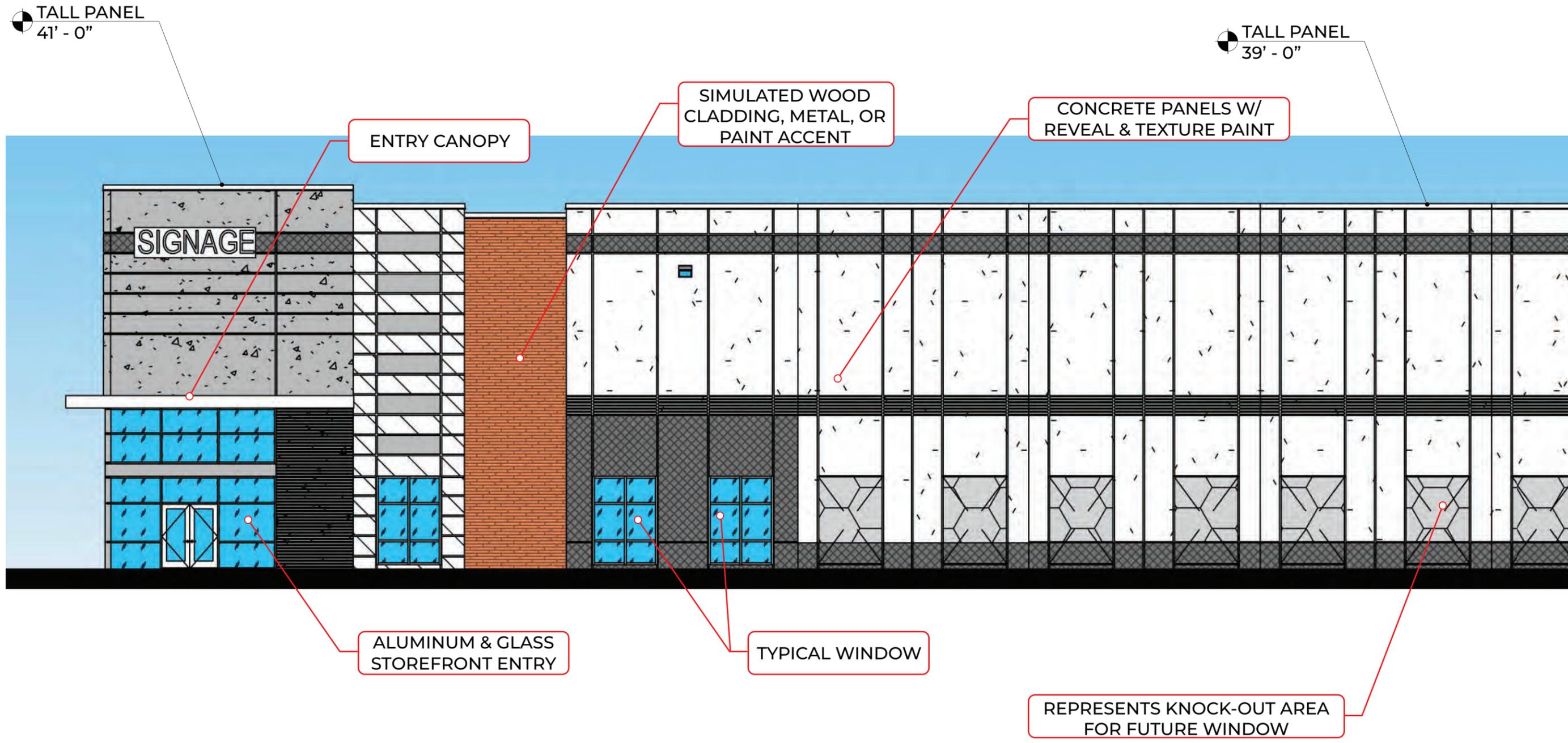
## ELEVATIONS

Option 2 - Bldg 5 & 6  
700' x 220'



## TYPICAL STREET FRONTAGE CENTER

Option 2 - Bldg 5 & 6  
700' x 220'



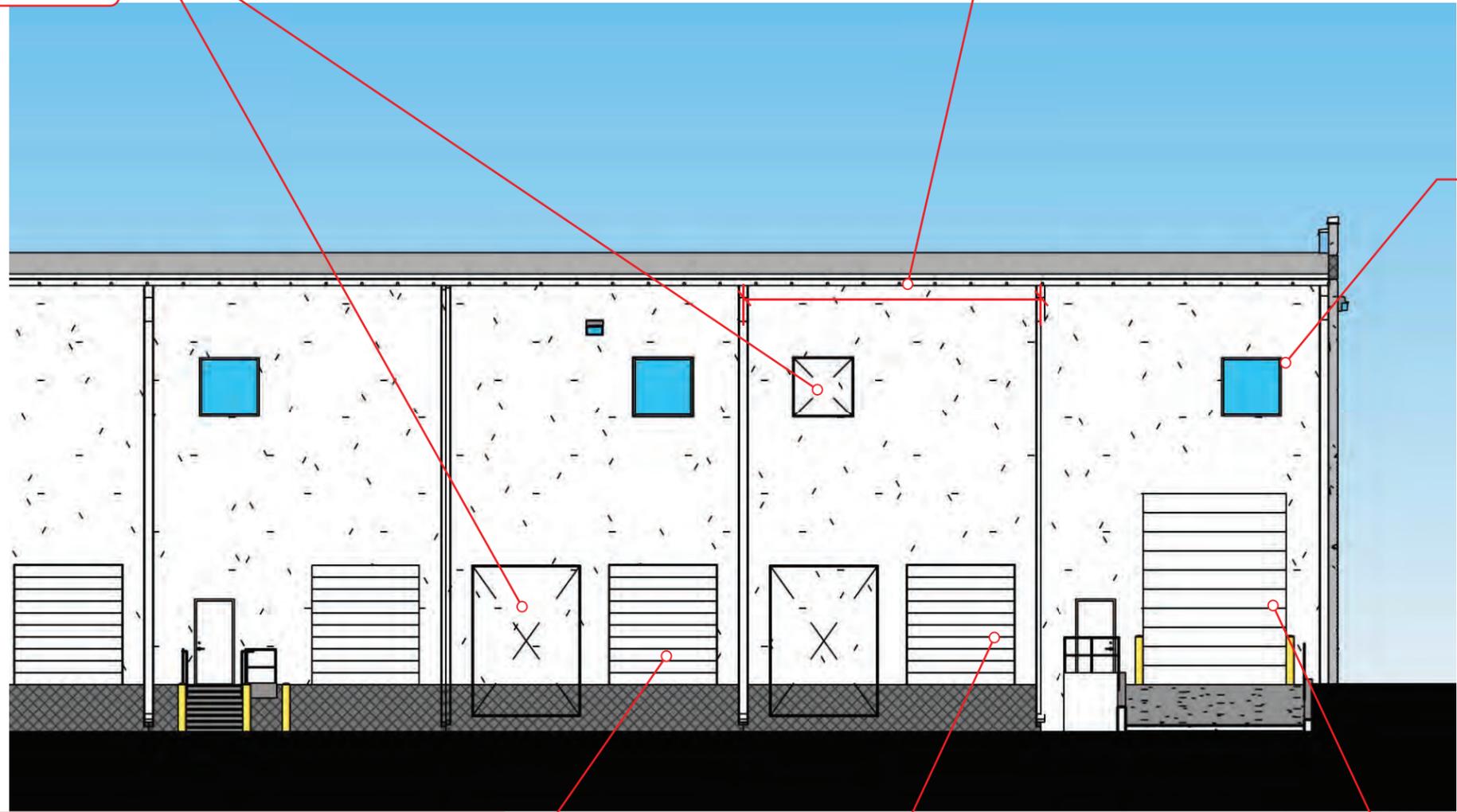
## TYPICAL STREET FRONTAGE SIDE

Option 2 - Bldg 5 & 6  
700' x 220'

REPRESENTS KNOCK-OUT  
AREA FOR FUTURE DOOR  
AND/OR WINDOW

TYPICAL BAY MAY CONSIST OF  
ANY COMBINATION OF ELEMENTS  
DISPLATED ON THIS RENDERING  
INCLUDING BUT NOT LIMITED TO,  
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WINDOWS, LOUVERS, RAMPS  
AND/OR STAIRS

TYPICAL CLEARSTORY  
WINDOW. MAY BE  
SUBSTITUTED FOR A  
LOUVER TO PREMOTE  
AIR CIRCULATION



STANDARD GREY OR WHITE METAL DOCK  
DOOR WITH VIEW LIGHT. DOCK DOORS LIKELY  
TO INCLUDE TENANT-SPECIFIC EQUIPMENT  
INCLUDING, BUT NOT LIMITED TO, SEALS, BUMPER,  
LEVELERS, DOCK LOCKS, LIGHTS AND/OR CANOPIES

TYPICAL PERSONNEL  
DOOR W/ METAL STAIR

METAL DOOR W/  
DRIVE-IN RAMP

### TYPICAL SERVICE ELEVATION (REAR)

Option 2 - Bldg 5 & 6  
700' x 220'







FRONT ELEVATION



LEFT ELEVATION



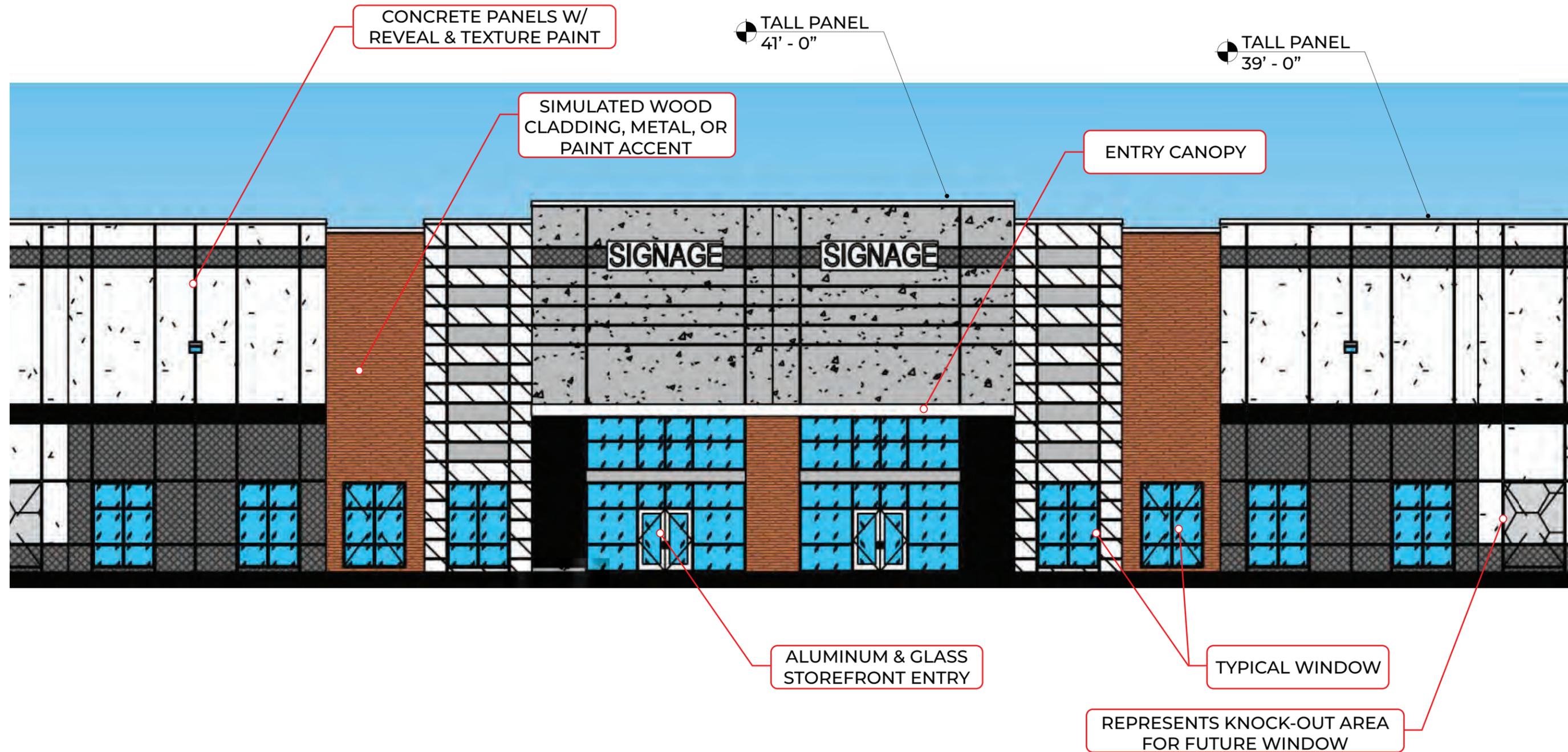
RIGHT ELEVATION



REAR ELEVATION

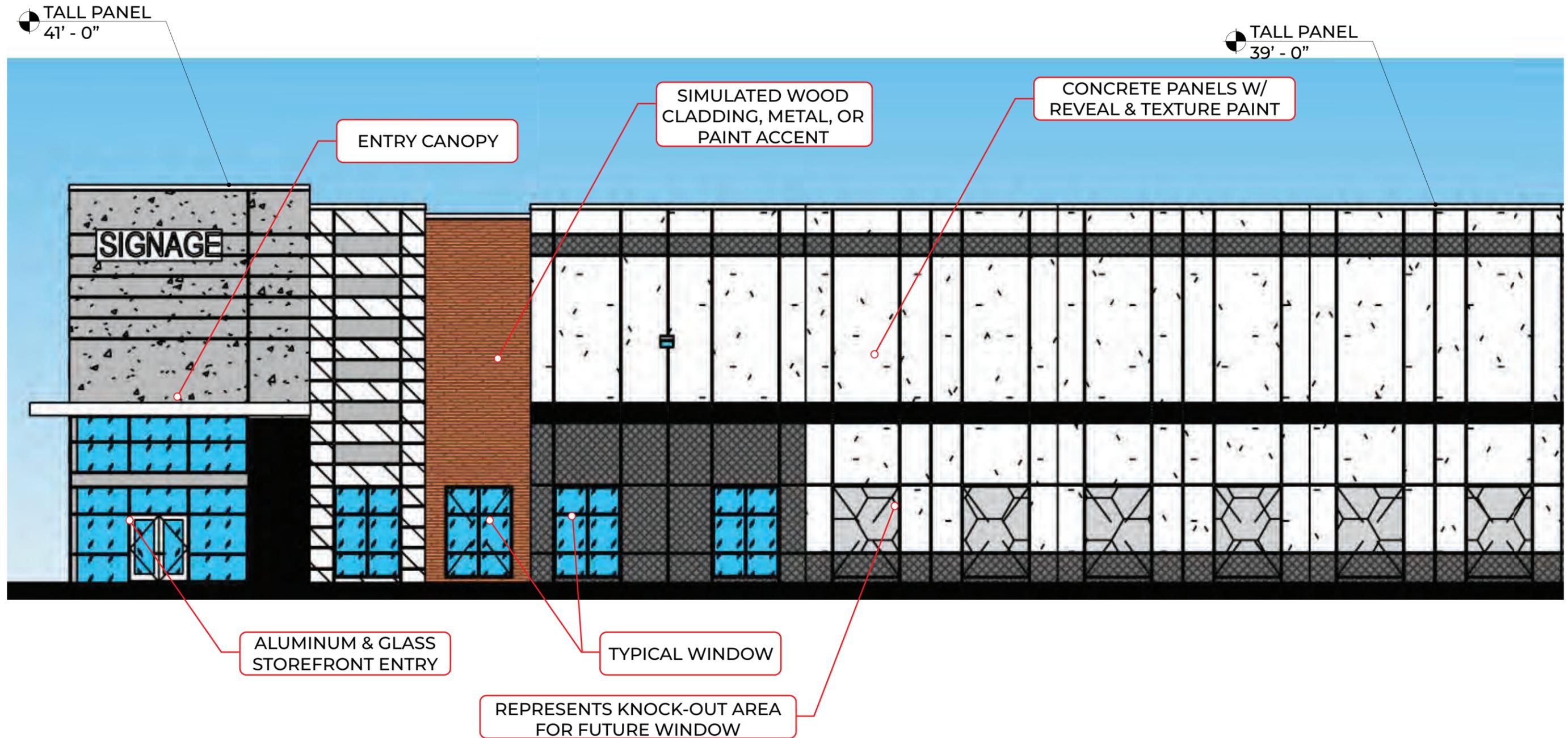
## ELEVATIONS

Option 1 - Bldg 7  
1150' x 220'



## TYPICAL STREET FRONTAGE CENTER

Option 1 - Bldg 7  
1150' x 220'



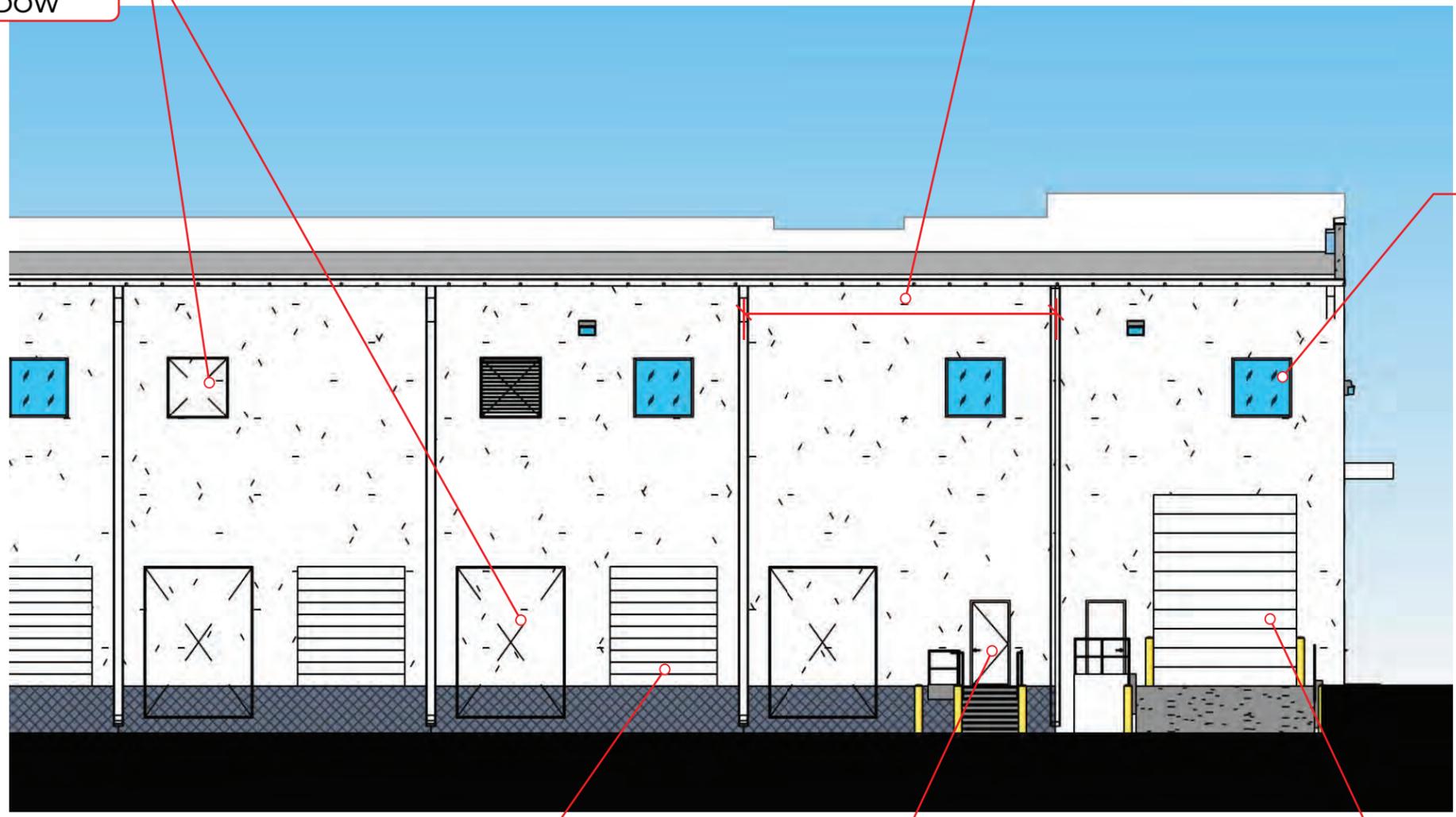
## TYPICAL STREET FRONTAGE SIDE

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TYPICAL CLEARSTORY  
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DOOR WITH VIEW LIGHT. DOCK DOORS LIKELY  
TO INCLUDE TENANT-SPECIFIC EQUIPMENT  
INCLUDING, BUT NOT LIMITED TO, SEALS, BUMPER,  
LEVELERS, DOCK LOCKS, LIGHTS AND/OR CANOPIES

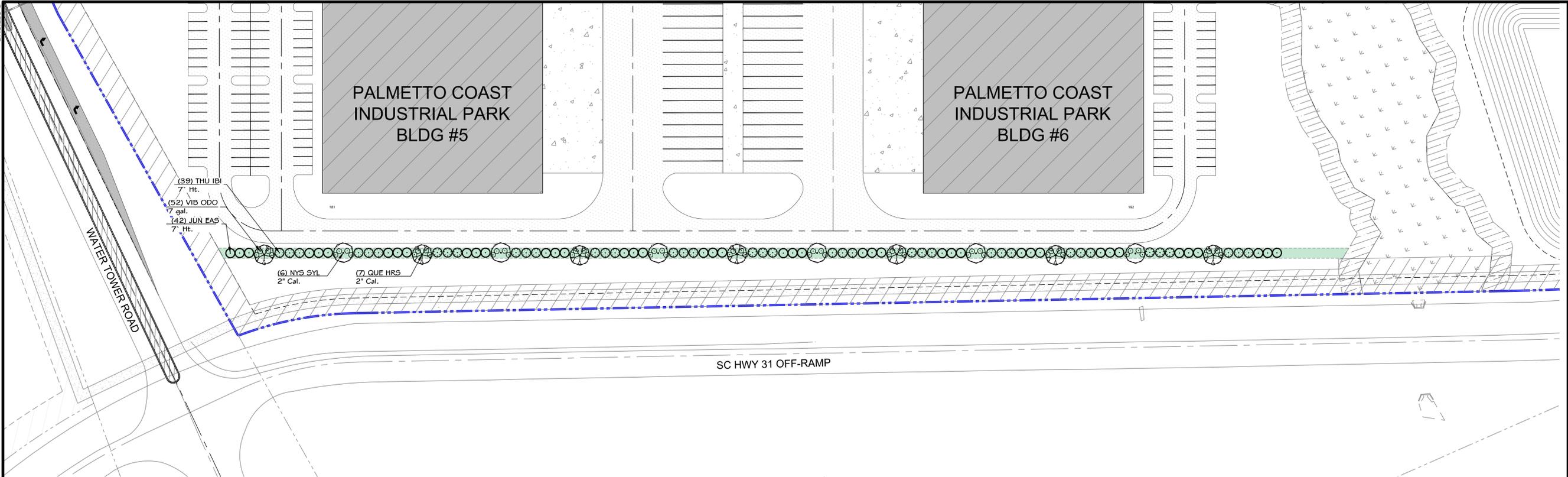
TYPICAL PERSONNEL  
DOOR W/ METAL STAIR

METAL DOOR W/  
DRIVE-IN RAMP

## TYPICAL SERVICE ELEVATION (REAR)

Option 1 - Bldg 7  
1150' x 220'

# LANDSCAPE PLAN

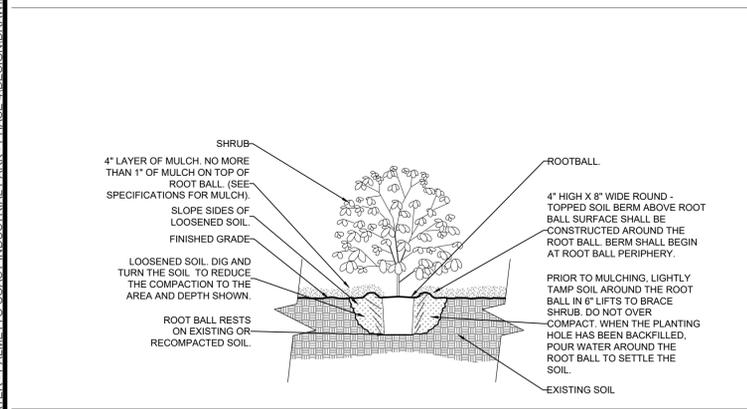


**LANDSCAPE NOTES:**

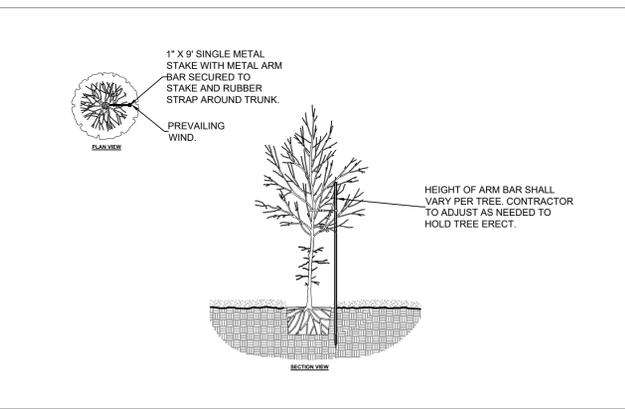
1. REFERENCE SITE WORK AND SPECIFICATIONS FOR INFORMATION NEEDED FOR LANDSCAPE WORK.
2. CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING STRUCTURES. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN.
3. CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS.
4. QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY.
5. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
6. A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
7. LANDSCAPE ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.
8. ALL PLANTING AREAS SHALL BE GRADED SMOOTH TO ACHIEVE FINAL CONTOURS AS INDICATED ON PLAN WITH 3" OF TOPSOIL AND 3" OF COMPOST AND CONSISTENTLY BLENDED TO A DEPTH OF 9". ALL BEDS SHALL BE CROWNED TO ANTICIPATE SETTLEMENT AND ENSURE PROPER DRAINAGE.
9. PLANTING AREAS AND SOD TO BE SEPARATED BY "V-NOTCH" AS PER DETAILS.
10. MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.
11. CONTAINER GROWN PLANT MATERIAL IS PREFERRED UNLESS INDICATED ON THE PLANT QUANTITIES. BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
12. TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
13. 4" OF TRIPLE GROUND DARK HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED IN ALL LANDSCAPE BEDS AFTER PLANTING IS COMPLETED.
14. CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.
15. HEIGHT AND CALIPER SIZE SUPERSEDE GALLON SIZE AT THE TIME OF PLANTING.
16. ANY DISTURBED AREA NOT SPECIFICALLY NOTED TO BE SODDED SHALL BE HYDROSEEDING WITH AN APPROPRIATE SEASONAL MIX.

**PLANT SCHEDULE**

| SYMBOL        | CODE    | BOTANICAL / COMMON NAME                        | SIZE    | CONTAINER | QTY | DETAIL |
|---------------|---------|--|---------|-----------|-----|--------|
| <b>TREES</b>  |         |  |         |           |     |        |
|               | JUN EAS | Juniperus virginiana / Eastern Redcedar        | 7' Ht.  | Pot       | 84  |        |
|               | NYS SYL | Nyssa sylvatica / Tupelo                       | 2" Cal. | Pot       | 19  |        |
|               | QUE HRS | Quercus virginiana 'QVTTA' / Highrise Live Oak | 2" Cal. | Pot       | 7   |        |
|               | THU IBI | Thuja x 'Green Giant' / Green Giant Arborvitae | 7' Ht.  | Pot       | 78  |        |
| <b>SHRUBS</b> |         |  |         |           |     |        |
|               | VIB ODO | Viburnum odoratissimum / Sweet Viburnum        | 7 gal.  | Pot       | 104 |        |



2. SHRUB PLANTING DETAIL

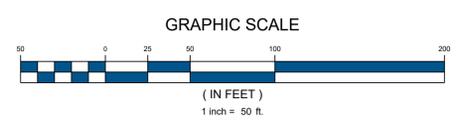


4. TREE STAKING DETAIL

LANDSCAPE PLAN  
(BLDG 5 & 6)

PALMETTO COAST INDUSTRIAL PARK  
PHASE 4 & 5 (BLDGS 5/6/7)

|                 |            |
|-----------------|------------|
| JOB NO:         | 24.106     |
| SCALE:          | 1" = 50'   |
| DRAWN BY:       | SCH        |
| CHECKED BY:     | SCH        |
| DATE:           | 11/21/2024 |
| EXHIBIT NUMBER: |            |

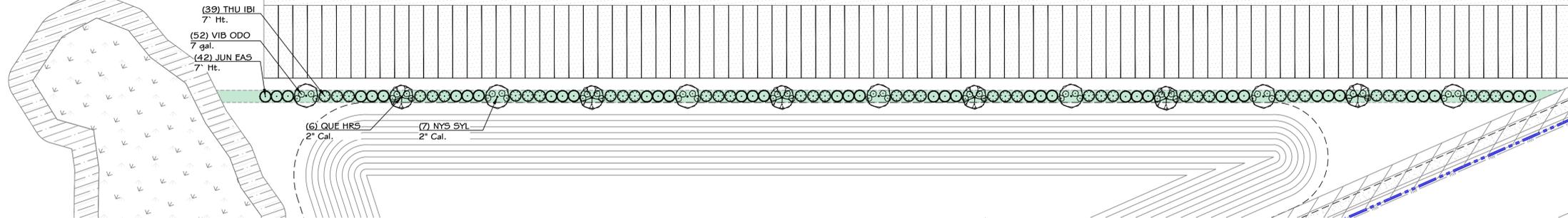


PALMETTO COAST INDUSTRIAL PARK  
BLDG #7



DEVELOPMENT RESOURCE GROUP, LLC  
4703 OLEANDER DRIVE  
MYRTLE BEACH, SC 29577  
843-839-3350 | DRGPLLC.COM

LANDSCAPE PLAN  
(BLDG 7)  
PALMETTO COAST INDUSTRIAL PARK  
PHASE 4 & 5 (BLDGS 5/6/7)



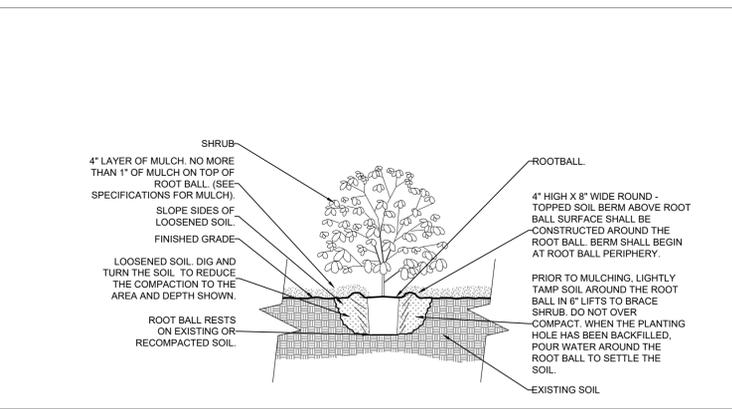
LANDSCAPE NOTES:

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- PLANTING AREAS AND SOD TO BE SEPARATED BY "V-NOTCH" AS PER DETAILS.
- MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.
- CONTAINER GROWN PLANT MATERIAL IS PREFERRED UNLESS INDICATED ON THE PLANT QUANTITIES. BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
- TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
- 4" OF TRIPLE GROUND DARK HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED IN ALL LANDSCAPE BEDS AFTER PLANTING IS COMPLETED.
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- ANY DISTURBED AREA NOT SPECIFICALLY NOTED TO BE SODDED SHALL BE HYDROSEEDING WITH AN APPROPRIATE SEASONAL MIX.

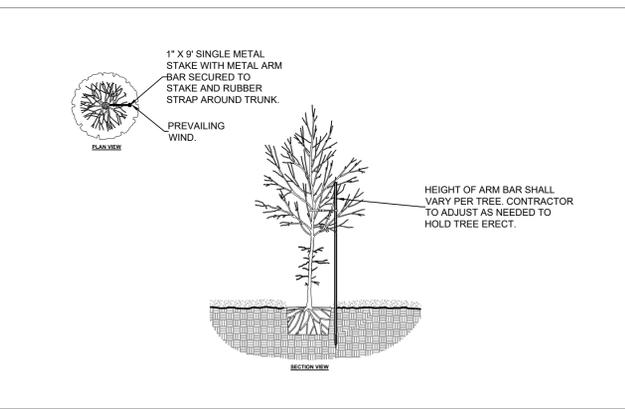
PLANT SCHEDULE

| SYMBOL        | CODE    | BOTANICAL / COMMON NAME                        | SIZE    | CONTAINER | QTY | DETAIL |
|---------------|---------|--|---------|-----------|-----|--------|
| <b>TREES</b>  |         |  |         |           |     |        |
|               | JUN EAS | Juniperus virginiana / Eastern Redcedar        | 7' Ht.  | Pot       | 84  |        |
|               | NYS SYL | Nyssa sylvatica / Tupelo                       | 2" Cal. | Pot       | 13  |        |
|               | QUE HRS | Quercus virginiana 'QV7IA' / Highrise Live Oak | 2" Cal. | Pot       | 13  |        |
|               | THU IBI | Thuja x 'Green Giant' / Green Giant Arborvitae | 7' Ht.  | Pot       | 78  |        |
| <b>SHRUBS</b> |         |  |         |           |     |        |
|               | VIB ODO | Viburnum odoratissimum / Sweet Viburnum        | 7 gal.  | Pot       | 104 |        |

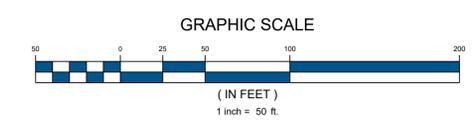
\*SCHEDULE REFLECTS TOTAL PROJECT QUANTITIES



2. SHRUB PLANTING DETAIL



4. TREE STAKING DETAIL

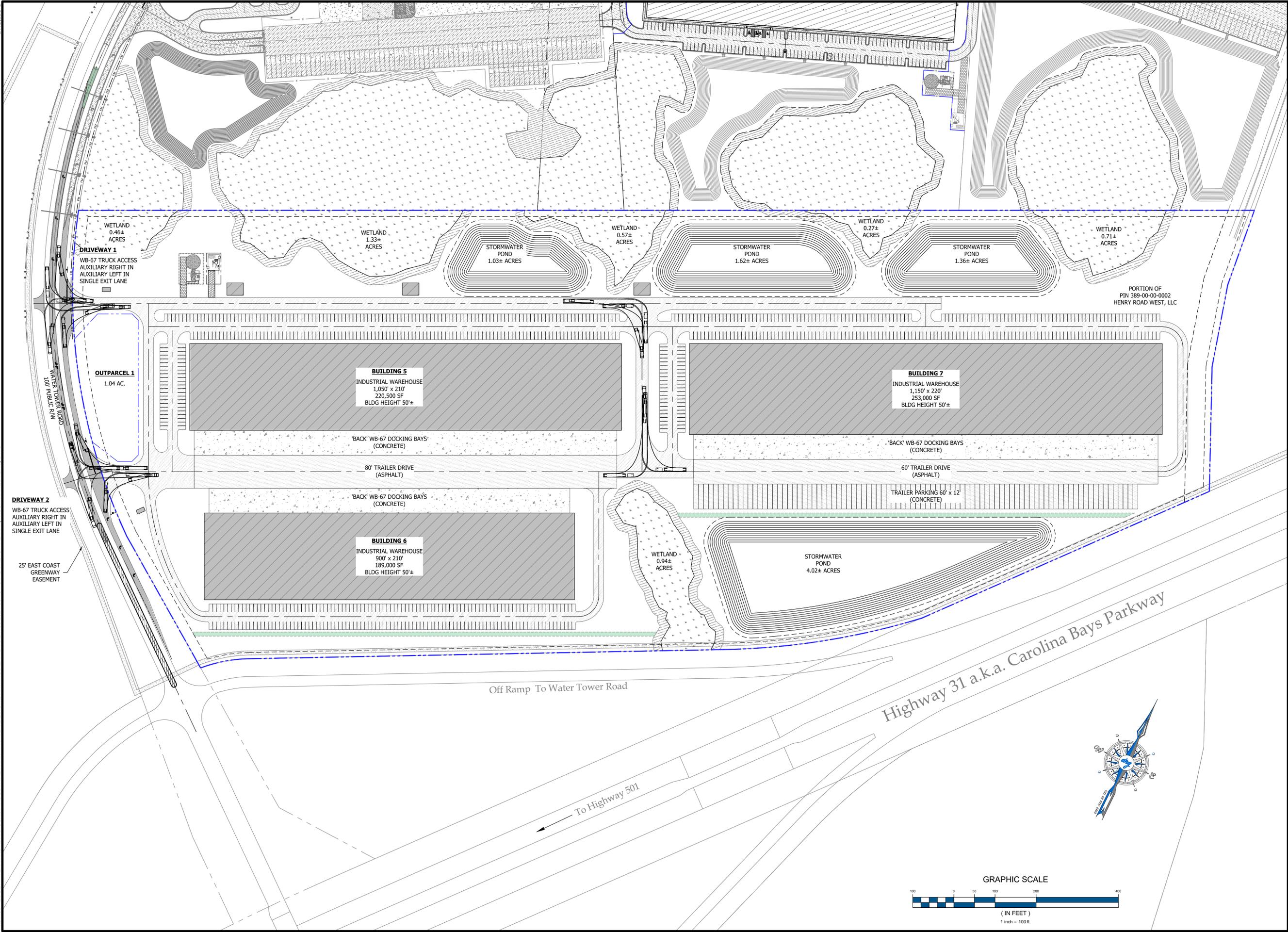


JOB NO: 24.106  
SCALE: 1" = 50'  
DRAWN BY: SCH  
CHECKED BY: SCH  
DATE: 11/21/2024  
EXHIBIT NUMBER:

# TRUCK MANEUVER PLAN

P:24-106 - EDGEWATER - PALMETTO COAST INDUSTRIAL PARK - PHASE 4 DESIGN DRAWINGS EXHIBITS 24106 2024-09-18 PCIP 2 SKETCH PLAN 1 (TRUCK MANEUVERS) DWG

2024-11-21 DRG, LLC

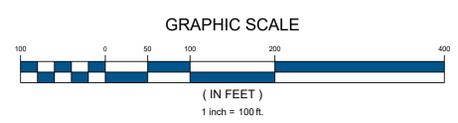


DEVELOPMENT RESOURCE GROUP, LLC  
4703 OLEANDER DRIVE  
MYRTLE BEACH, SC 29577  
843-839-3350 | DRGPLLC.COM

**PROJECT ENTRY ALIGNMENT EXHIBIT**  
**MASTER SITE PLAN 1 - TRUCK MANEUVERS**  
**PALMETTO COAST INDUSTRIAL PARK**  
**PHASE 4 & 5 (BLDGS 5/6/7)**

JOB NO: 24.106  
SCALE: 1" = 100'  
DRAWN BY: MES  
CHECKED BY: MES  
DATE: 11/21/2024  
EXHIBIT NUMBER:

**PEA-1**



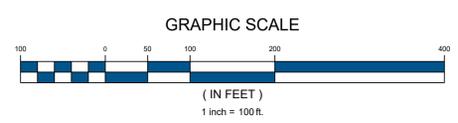
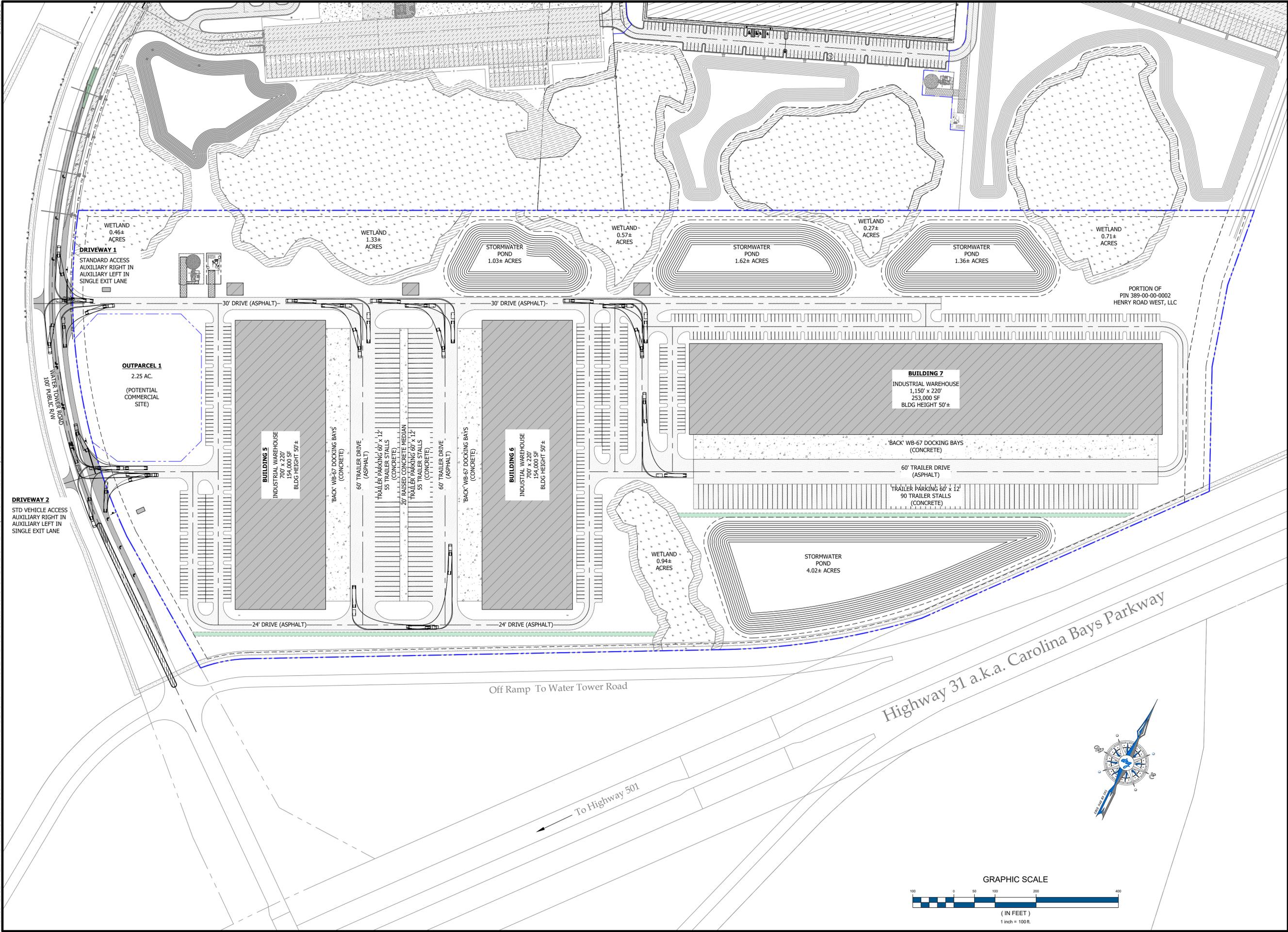


DEVELOPMENT RESOURCE GROUP, LLC  
4703 OLEANDER DRIVE  
MYRTLE BEACH, SC 29577  
843-839-3350 | DRGPLLC.COM

**PROJECT ENTRY ALIGNMENT EXHIBIT**  
**MASTER SITE PLAN 2 - TRUCK MANEUVERS**  
**PALMETTO COAST INDUSTRIAL PARK**  
**PHASE 4 & 5 (BLDGS 5/6/7)**

JOB NO: 24.106  
SCALE: 1" = 100'  
DRAWN BY: MES  
CHECKED BY: MES  
DATE: 11/21/2024  
EXHIBIT NUMBER:

**PEA-2**



Off Ramp To Water Tower Road

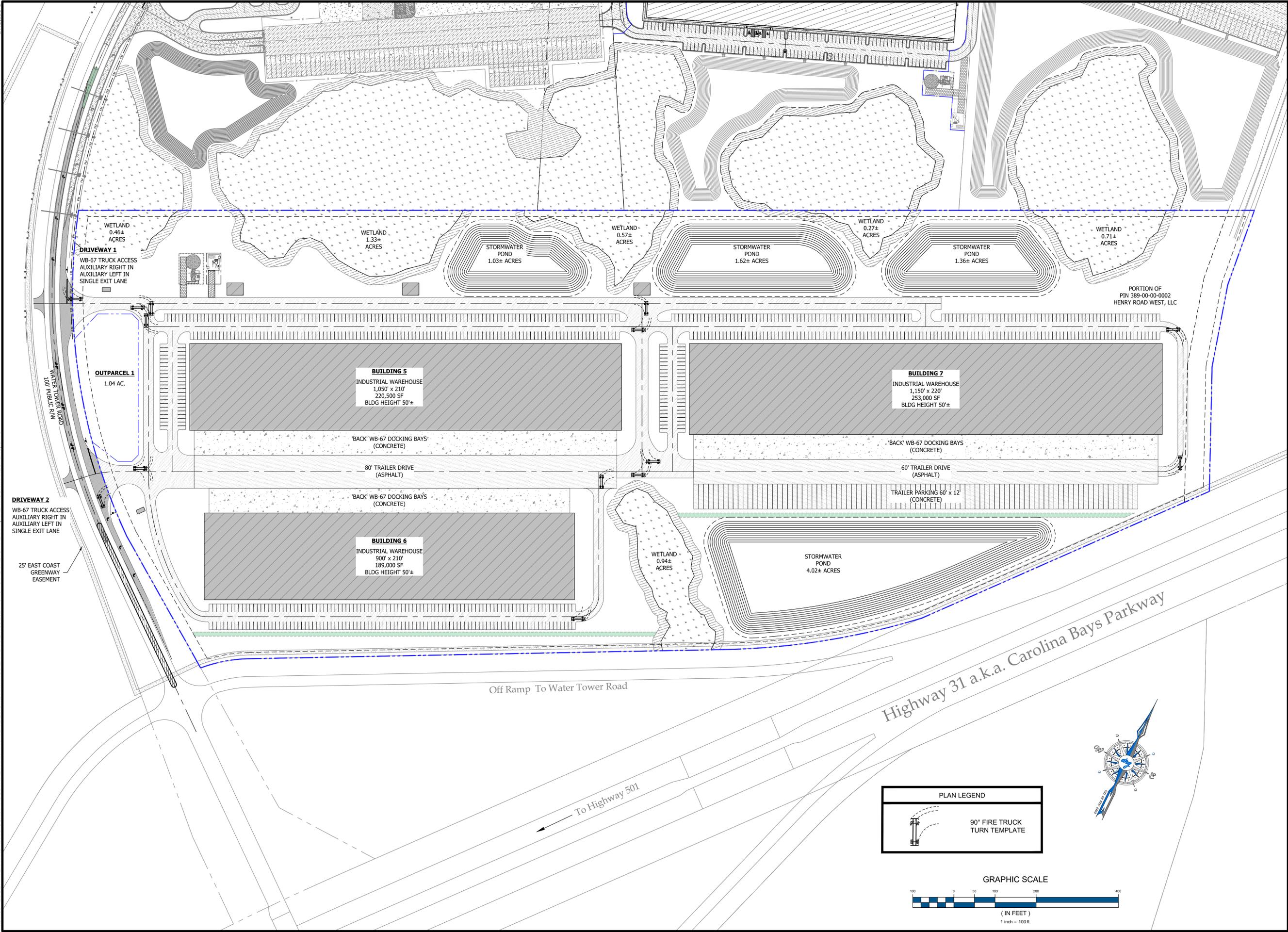
To Highway 501

Highway 31 a.k.a. Carolina Bays Parkway

# **FIRETRUCK MANEUVER PLAN**

P:24-106 - EDGEWATER - PALMETTO COAST INDUSTRIAL PARK - PHASE 4 (DESIGN DRAWINGS EXHIBITS) 04/2024 - 10-16 PGP 2 SKETCH PLAN 1 (FIRE TRUCK MANEUVERS).DWG

2024-11-21 DRG,LLC

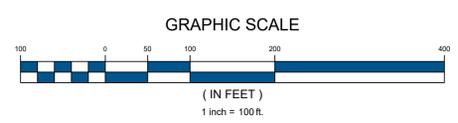
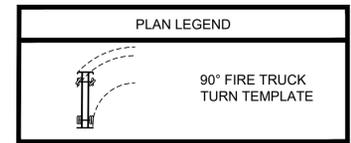


DEVELOPMENT RESOURCE GROUP, LLC  
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843-839-3350 | DRGPLLC.COM

**PROJECT ENTRY ALIGNMENT EXHIBIT**  
**MASTER SITE PLAN 1 - FIRE TRUCK MANEUVERS**  
**PALMETTO COAST INDUSTRIAL PARK**  
**PHASE 4 & 5 (BLDGS 5/6/7)**

|                 |            |
|-----------------|------------|
| JOB NO:         | 24.106     |
| SCALE:          | 1" = 100'  |
| DRAWN BY:       | MES        |
| CHECKED BY:     | MES        |
| DATE:           | 11/21/2024 |
| EXHIBIT NUMBER: |            |

**FTM-1**



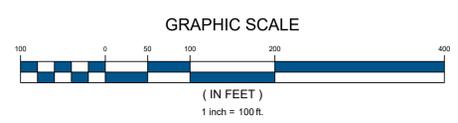
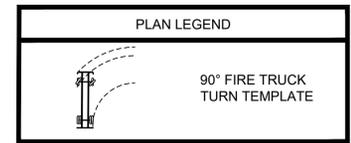
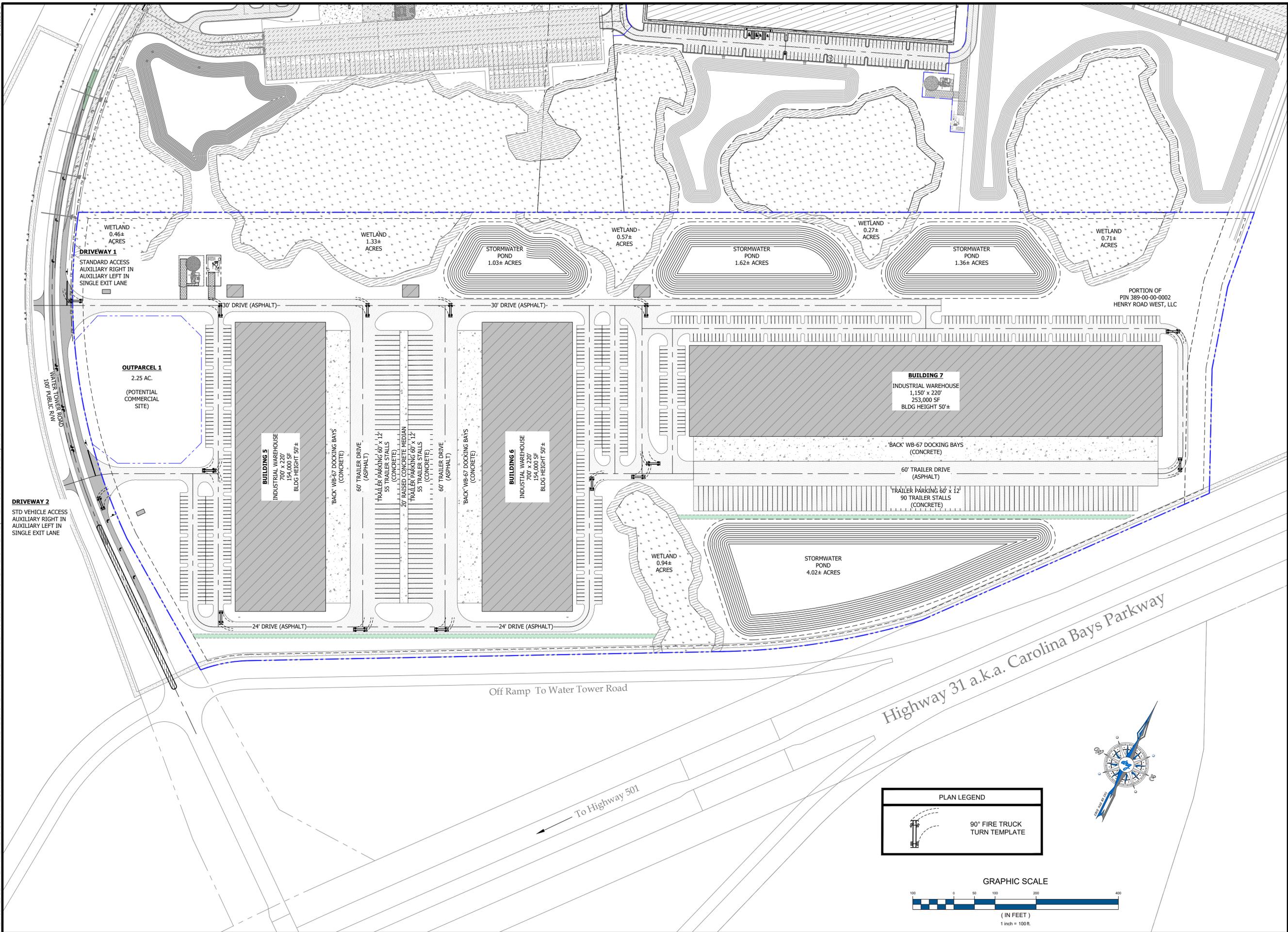


DEVELOPMENT RESOURCE GROUP, LLC  
4703 OLEANDER DRIVE  
MYRTLE BEACH, SC 29577  
843-839-3350 | DRGPLLC.COM

PROJECT ENTRY ALIGNMENT EXHIBIT  
MASTER SITE PLAN 2 - FIRE TRUCK MANEUVERS  
PALMETTO COAST INDUSTRIAL PARK  
PHASE 4 & 5 (BLDGS 5/6/7)

JOB NO: 24.106  
SCALE: 1" = 100'  
DRAWN BY: MES  
CHECKED BY: MES  
DATE: 11/21/2024  
EXHIBIT NUMBER:

FTM-2



Off Ramp To Water Tower Road

To Highway 501

Highway 31 a.k.a. Carolina Bays Parkway

WETLAND 0.46± ACRES  
DRIVEWAY 1  
STANDARD ACCESS  
AUXILIARY RIGHT IN  
AUXILIARY LEFT IN  
SINGLE EXIT LANE

DRIVEWAY 2  
STD VEHICLE ACCESS  
AUXILIARY RIGHT IN  
AUXILIARY LEFT IN  
SINGLE EXIT LANE

OUTPARCEL 1  
2.25 AC.  
(POTENTIAL  
COMMERCIAL  
SITE)

**BUILDING 5**  
INDUSTRIAL WAREHOUSE  
700' x 220'  
154,000 SF  
BLDG HEIGHT 50'±

**BUILDING 6**  
INDUSTRIAL WAREHOUSE  
700' x 220'  
154,000 SF  
BLDG HEIGHT 50'±

**BUILDING 7**  
INDUSTRIAL WAREHOUSE  
1,150' x 220'  
253,000 SF  
BLDG HEIGHT 50'±

WETLAND 1.33± ACRES

WETLAND 0.57± ACRES

WETLAND 0.27± ACRES

WETLAND 0.71± ACRES

STORMWATER POND 1.03± ACRES

STORMWATER POND 1.62± ACRES

STORMWATER POND 1.36± ACRES

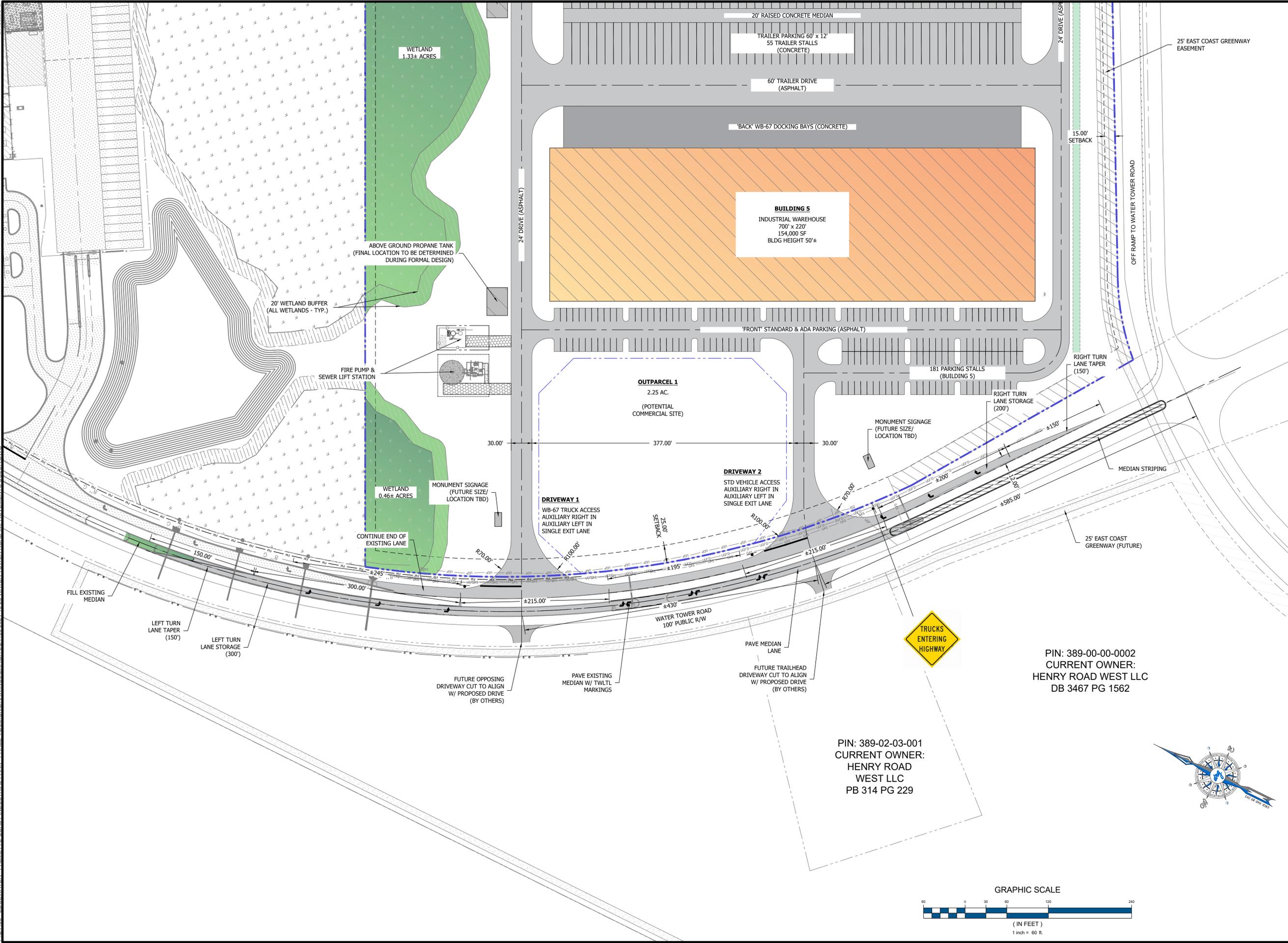
PORTION OF  
PIN 389-00-00-0002  
HENRY ROAD WEST, LLC

WETLAND 0.94± ACRES

STORMWATER POND 4.02± ACRES

# **ROADWAY IMPROVEMENT/RESPONSIBILITY PLAN**

2024-11-21 DRG, LLC  
P:\24.08 - EDGEWATER - PALMETTO COAST INDUSTRIAL PARK - PHASE 4\DESIGN\DRAWINGS\EXHIBITS\24.08-2024-10-28 WATER TOWER ROAD IMPROVEMENTS COLOR.DWG



DEVELOPMENT RESOURCE GROUP, LLC  
4703 OLEANDER DRIVE  
MYRTLE BEACH, SC 29577  
843-839-3350 | DRGPLLC.COM

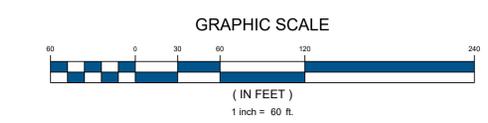
ROAD RESPONSIBILITY EXHIBIT  
PALMETTO COAST INDUSTRIAL PARK  
PHASE 4 & 5 (BLDGS 5/6/7)

PIN: 389-00-00-0002  
CURRENT OWNER:  
HENRY ROAD WEST LLC  
DB 3467 PG 1562

PIN: 389-02-03-001  
CURRENT OWNER:  
HENRY ROAD  
WEST LLC  
PB 314 PG 229

|                 |            |
|-----------------|------------|
| JOB NO:         | 24.106     |
| SCALE:          | 1" = 60'   |
| DRAWN BY:       | MES        |
| CHECKED BY:     | MES        |
| DATE:           | 11/21/2024 |
| EXHIBIT NUMBER: |            |

RRE-1



**6A. MAJOR PLANNED DEVELOPMENT DISTRICT AMENDMENT Z-24-34:** City staff received an application for a major amendment to the Parkway Group Planned Development District (PDD) creating Phases Four and Five of the Palmetto Coast Industrial Park through changes to the governing documents, including narrative, plans, and elevations.

### **Background**

The Planning Commission recommended approval of phases one and two of the Palmetto Coast Industrial Park in March of 2022 and phase three in August of 2022.

### **Proposed Changes**

The applicant, Mark Stoughton of DRG, agent for the developer, has requested an amendment to the Parkway Group PDD revising a portion of the Henry Road West section into phases four and five of the Palmetto Coast Industrial Park. The current PDD proposal contains an additional three industrial warehouse buildings of approximately 662,500 square feet with standard/accessible parking spaces and tractor trailer parking spaces and an outparcel site which will be developed at a future time through major amendment. Two driveways allow access to the site from Water Tower Road. Stormwater ponds and wetlands constitute the balance of the property. Architecturally, the proposed elevations conform to the standards of the initial phases of the industrial park. Two land plans are presented for approval.

### **Staff Review**

*Planning & Development, Planning Division*

The Planning Department is reviewing the proposed amendment.

*Planning & Development, Zoning Division*

The Zoning Administrator has no issue with the proposed amendment.

*Public Works*

The Public Works Department is reviewing the proposed amendment.

*Public Safety*

The Fire Marshal has no issue with the proposed amendment.

According to § 23-4, Amendments, of the Zoning Ordinance, the advertisement requirement for Zoning Ordinance amendments is 15 days, and that advertisement notice has been met. The amendment is presented to the Planning Commission for a recommendation that will be forwarded to City Council at their next meeting scheduled for November 4, 2024.

### **Planning Commission Action**

The Planning Commission may approve, approve with modifications and/or conditions, or deny the proposal as submitted.

### **Alternative Motions**

- 1) I move that the Planning Commission recommend approval of the major planned development district amendment to the Parkway Group PDD [Z-24-34] as submitted.

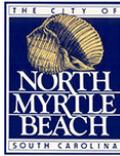
OR

- 2) I move that the Planning Commission recommend denial of the major planned development district amendment to the Parkway Group PDD [Z-24-34] as submitted.

OR

- 3) I move (an alternate motion).

|                                  |             |
|----------------------------------|-------------|
| PDD Zoning Finance Account Code: | <b>3.22</b> |
| FEE PAID:                        | \$0.00 on   |
| FILE NUMBER:                     | Z-24-34     |
| Complete Submittal Date:         |             |



|                      |                  |
|----------------------|------------------|
| Notice Published:    | October 3, 2024  |
| Planning Commission: | October 22, 2024 |
| First Reading:       | November 4, 2024 |
| Second Reading:      | December 2, 2024 |

City of North Myrtle Beach, SC

**Application for a Major Amendment to a Planned Development District (PDD)**

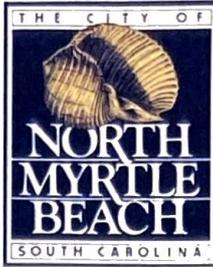
**GENERAL INFORMATION**

|   |  |
|---|--|
| <b>Date of Request: September 18, 2024</b>  | <b>Property PIN(S): 3890000002</b>                             |
| <b>Property Owner(s): Henry Road West LLC</b>   | <b>Type of Zoning Map Amendment: Major PDD Amendment</b>       |
| <b>Address or Location: Water Tower Road and Highway 31</b>   | <b>Project Contact: MARK STOUGHTON</b>                         |
| <b>Contact Phone Number: 7047701074</b>   | <b>Contact Email Address: mmassardo@edgewater-ventures.com</b> |
| <b>PDD Name: The Parkway Group PDD</b>  | <b>Total Area of Property: 62.4 Acres</b>                      |
| <b>Proposed Amendment: Major PDD revision for the entitlement of a new set of Palmetto Coast Industrial Park Buildings, and all infrastructure required therein</b> |  |

**RECORDED COVENANT INFORMATION**

I hereby certify that the tract(s) or parcel(s) of land to which this approval request pertains is not restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity for which approval is sought, as provided in South Carolina Code of Laws (§ 6-29-1145).  
*Applicant's E-signature: MARK STOUGHTON*

This form complies with a state law that took effect on July 1, 2007 (S.C. Code § 6-29-1145) that requires all planning agencies to inquire in an application for a permit if the parcel of land is restricted by a recorded covenant that is contrary to, conflicts with, or prohibits the permitted activity. If such a covenant exists, the agency shall not issue the permit until written confirmation of its release is received. The release must be through the action of an appropriate legal authority.



CITY OF NORTH MYRTLE BEACH  
**LETTER OF AGENCY**

Revision Date 05.24.19

Today's Date: 01/11/22

Nature of Approval Requested: PDD Amendment

Property PIN(s): 389-00-00-0002

Property Address/Location: Southside of Water Tower Rd. near intersection with Telephone Rd.

I, Michael H. Massardo, hereby authorize Development Resource Group, LLC

to act as my agent for for the purposes of the above referenced approval.

Signature

Manager

Title

Signature

Title

Signature

Title

Signature

Title

Signature

Title

Signature

Title

Please have all property owners sign application; disregard additional spaces if not needed. If additional signature lines are required, please duplicate this sheet and bind all sheets together into one document.