

REQUEST FOR CITY COUNCIL CONSIDERATION

Meeting Date: October 20, 2025

Agenda Item: 7A	Prepared by: L. Suzanne Pritchard, PLA, AICP, CFM
Agenda Section: New Business: Ordinance. First Reading	Date: October 15, 2025
Subject: Amendment to the Gator Hole Planned Development District (PDD) revising Walmart [Z-25-16]	Division: Planning and Development

Background:

Originally entitled in May of 2000, the Gator Hole PDD is bounded by Highway 17 on the North and Hillside Drive to the south and located between 2nd and 8th Avenues North. Phase One of the PDD was ±62.96 acres and consisted of commercial uses with the purpose of providing commercial opportunities to the traveling public, and areas in the community where large-scale commercial projects may take place with minimal impact on contiguous residential development.

Proposed Changes:

The applicant, Shay Stripling, engineer and agent for the owner, requests a major amendment to the Gator Hole PDD to allow for a ±4,965 square foot building expansion at the front of the existing store, enclosing a section of the existing garden area. The purpose of the expansion is to modify the store layout to accommodate an enlarged online pickup and storage area. The proposal also includes associated site improvements such as restriping portions of the parking lot, adjusting grades and sidewalks to support the addition, and updating signage and striping to reflect the revised layout.

Staff Review:

The amendment has been reviewed by the Department of Public Works, the Department of Public Safety, and the Department of Planning and Development; no concerns have been expressed.

Planning Commission Action:

The Planning Commission held a public hearing on October 7, 2025, and voted unanimously to recommend approval of the proposal. There was no public comment.

Recommended Actions:

Approve or deny the proposed ordinance on first reading

Reviewed by Department Head	Reviewed by City Manager	Reviewed by City Attorney
Council Action: Motion By _____ 2 nd By _____ To _____		

ORDINANCE

**AN ORDINANCE OF THE CITY OF NORTH MYRTLE BEACH
PROVIDING THAT THE CODE OF ORDINANCES, CITY OF
NORTH MYRTLE BEACH, SOUTH CAROLINA, BE AMENDED
BY REVISING THE GATOR HOLE PLANNED DEVELOPMENT
DISTRICT (PDD) REVISING WALMART**

Section 1:

That the Gator Hole PDD be amended to revise Walmart as depicted in Exhibit A, attached and included in this ordinance.

If a conflict arises between the amendments listed in the ordinance and those listed in the PDD booklet, the PDD booklet shall take precedence. The proposed changes are reflected in the PDD booklet.

Section 2:

That the North Myrtle Beach Planning Commission has provided the required public notice of this request and has held the necessary public hearings in accordance with applicable State Statutes and City Ordinances.

DONE, RATIFIED AND PASSED, THIS _____ DAY OF _____, 2025.

ATTEST:

Mayor Marilyn Hatley

City Clerk

APPROVED AS TO FORM:

City Attorney

REVIEWED:

City Manager

FIRST READING: 10.20.2025

SECOND READING: _____

ORDINANCE: _____

ALL THAT CERTAIN LOT OR PARCEL OF LAND SITUATE, LYING AND BEING IN HORRY COUNTY, SOUTH CAROLINA AND BEING 18.18 ACRES, MORE OR LESS IDENTIFIED BY THE HORRY COUNTY ASSESSOR AS PIN: 35600000003 / TMS: 1440001086 AND PART OF THE LARGER PARCEL DESCRIBED AS FOLLOWS:

ALL AND SINGULAR, ALL THAT CERTAIN PIECE, PARCEL OR LOT OF LAND WITH ANY IMPROVEMENTS THEREON, SITUATE, LYING AND BEING IN LITTLE RIVER TOWNSHIP, COUNTY OF Horry, STATE OF SOUTH CAROLINA; BEING BOUNDED ON THE NORTH BY U.S. HIGHWAY 17 (PUBLIC R/W VARIES), ON THE EAST BY EIGHTH AVENUE NORTH (66' PUBLIC R/W) AND HD DEVELOPMENT OF MARYLAND, INC., ON THE SOUTH BY YE OLDS KINGS HIGHWAY (100' PUBLIC R/W) AND SEASIDE PLANTATION EAST COAST DEVELOPERS, LLC, ON THE WEST BY OCEAN VISTA, L.L.C., SECOND AVENUE NORTH (100' PUBLIC R/W) AND SUFFRWOOD PLAZA, LLC AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

[illegible]

FIDELITY NATIONAL TITLE INSURANCE COMPANY
COMMITMENT NO. 5000011151 - COMMITMENT DATE: JANUARY 30, 2025 AT 12:00AM
SCHEDULE B SECTION II - EXCEPTIONS

THIS SURVEY AND COMMENTS TO TITLE EXCEPTIONS ARE BASED ON THE SURVEY AREA LIMITS SHOWN HEREON, WHICH IS A PORTION OF THE LAND DESCRIBED IN THE TITLE COMMITMENT EXHIBIT "A".

1. ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHES, OR IS DISCLOSED DURING THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART I-REQUIREMENTS ARE MET.
2. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS.
3. ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE AREA.
4. EASEMENTS, OR CLAIMS OF EASEMENTS, NOT SHOWN BY THE PUBLIC RECORDS.
5. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR, OR MATERIAL HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS.
6. TAXES OR SPECIAL ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS BY THE PUBLIC RECORDS.
7. TAXES FOR THE YEAR 2025 AND SUBSEQUENT YEARS, A LIEN NOT YET DUE AND PAYABLE.
8. EASEMENT IN FAVOR OF TIENTE LIMITED PARTNERSHIP SET FORTH IN INSTRUMENT RECORDED ON MAY 21, 1992 IN DEED BOOK 1549, PAGE 581.
-DOES NOT AFFECT SUBJECT AREA
9. STORM WATER DRAINAGE AND DETENTION POND EASEMENT IN FAVOR OF SURFWOOD PARTNERS, INC., A SOUTH CAROLINA CORPORATION SET FORTH IN INSTRUMENT RECORDED ON OCTOBER 16, 1997 IN DEED BOOK 1983, PAGE 058.
-DOES NOT AFFECT SUBJECT AREA
10. MATTERS AS SHOWN AND NOTED ON PLAT RECORDED IN PLAT BOOK 166, PAGE 139. AFFIDAVIT RECORDED ON FEBRUARY 22, 2000 IN DEED BOOK 2235, PAGE 0772.
-NO PLOTTABLE ITEMS AFFECTING SUBJECT AREA
11. TERMS, PROVISIONS, COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS, CHARGES, ASSESSMENTS AND LIENS PROVIDED IN A DEED OR COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN DEED BOOK 2289, PAGE 0984, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW.
-AFFECTS SUBJECT AREA, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
12. MATTERS AS SHOWN AND NOTED ON PLAT RECORDED IN PLAT BOOK 170, PAGE 078.
-NO PLOTTABLE ITEMS AFFECTING SUBJECT AREA
13. TERMS, PROVISIONS, COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS, CHARGES, ASSESSMENTS AND LIENS PROVIDED IN A DEED OR COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN DEED BOOK 2317, PAGE 1071, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW.
-AFFECTS SUBJECT AREA, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
14. MEMORANDUM OF DEVELOPMENT AGREEMENT DATED DECEMBER 7, 2000, BY AND BETWEEN THE GATOR HOLE DEVELOPMENT, L.L.C., A MISSOURI LIMITED LIABILITY COMPANY AND HOME DEPOT U.S.A., INC., A DELAWARE CORPORATION, RECORDED ON DECEMBER 12, 2000 IN DEED BOOK 2325, PAGE 0881.
-AFFECTS SUBJECT AREA, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
15. RECIPROCAL EASEMENT AND OPERATION AGREEMENT DATED DECEMBER 7, 2000, BY AND BETWEEN THE GATOR HOLE DEVELOPMENT, L.L.C., A MISSOURI LIMITED LIABILITY COMPANY AND HOME DEPOT U.S.A., INC., A DELAWARE CORPORATION, RECORDED ON DECEMBER 12, 2000 IN DEED BOOK 2325, PAGE 0890. FIRST AMENDMENT TO RECIPROCAL EASEMENT AND OPERATION AGREEMENT RECORDED ON JANUARY 9, 2002 IN DEED BOOK 2441, PAGE 712. SECOND AMENDMENT TO RECIPROCAL EASEMENT AND OPERATION AGREEMENT DATED MARCH 17, 2021 AND RECORDED ON APRIL 6, 2021 IN DEED BOOK 4406, PAGE 982.
-AFFECTS SUBJECT AREA, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
16. EASEMENT IN FAVOR OF THE SOUTH CAROLINA ELECTRIC & GAS COMPANY, A SOUTH CAROLINA CORPORATION SET FORTH IN INSTRUMENT RECORDED ON FEBRUARY 20, 2001 IN DEED BOOK 2343, PAGE 1087.
-UNABLE TO DETERMINE LOCATION OF EASEMENT FROM RECORDED DOCUMENT
17. TERMS AND CONDITIONS OF SHORT FORM LEASE DATED JUNE 21, 2001 BY AND BETWEEN THE GATOR HOLE DEVELOPMENT, L.L.C., A MISSOURI LIMITED LIABILITY COMPANY, AND CHICK-FIL-A, INC., A GEORGIA CORPORATION, RECORDED ON JUNE 15, 2001 IN DEED BOOK 2381, PAGE 0092. AMENDED BY FIRST AMENDMENT TO SHORT FORM LEASE DATED APRIL 8, 2018 AND RECORDED ON JUNE 26, 2018 IN DEED BOOK 4419, PAGE 159. AMENDED BY SECOND AMENDMENT TO LEASE AND SHORT FORM LEASE AND EASEMENT AGREEMENT DATED APRIL 8, 2024 AND RECORDED ON APRIL 26, 2024 IN DEED BOOK 4008, PAGE 991.
-AFFECTS SUBJECT AREA, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
18. DISTRIBUTION RIGHT-OF-WAY IN FAVOR OF THE SOUTH CAROLINA PUBLIC SERVICE AUTHORITY SET FORTH IN INSTRUMENT RECORDED ON JULY 23, 2001 IN DEED BOOK 2391, PAGE 1408.
-UNABLE TO DETERMINE LOCATION OF EASEMENT FROM RECORDED DOCUMENT
19. TERMS AND CONDITIONS OF MEMORANDUM OF LEASE DATED OCTOBER 18, 2001 BY AND BETWEEN THE GATOR HOLE DEVELOPMENT, L.L.C., A MISSOURI LIMITED LIABILITY COMPANY, AND WHOPPERS FOUR, LLC, A SOUTH CAROLINA LIMITED LIABILITY, RECORDED ON OCTOBER 28, 2001 IN DEED BOOK 2420, PAGE 0373.
-DOES NOT AFFECT SUBJECT AREA
20. TERMS AND CONDITIONS OF MEMORANDUM OF LEASE DATED MAY 10, 2002 BY AND BETWEEN THE GATOR HOLE DEVELOPMENT, L.L.C., A MISSOURI LIMITED LIABILITY COMPANY, AND NORTH MYRTLE BEACH BREAD COMPANY, INC., A SOUTH CAROLINA CORPORATION, RECORDED ON MAY 14, 2002 IN DEED BOOK 2480, PAGE 0610.
-UNABLE TO DETERMINE LOCATION OF LEASE FROM NORTH MYRTLE BEACH BREAD COMPANY, INC. ASSIGNED TO GORDON HOLDINGS, INC. DATED JUNE 11, 2004 AND RECORDED ON JUNE 18, 2004 IN DEED BOOK 2748, PAGE 0678.
-DOES NOT AFFECT SUBJECT AREA
21. TERMS AND CONDITIONS OF SHORT FORM LEASE DATED MARCH 5, 2002 BY AND BETWEEN THE GATOR HOLE DEVELOPMENT, L.L.C., A MISSOURI LIMITED LIABILITY COMPANY, AND WALMART REAL ESTATE BUSINESS TRUST RECORDED ON MAY 15, 2002 IN DEED BOOK 2480, PAGE 1387.
-AFFECTS SUBJECT AREA, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
22. TERMS, PROVISIONS, COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, EASEMENTS, CHARGES, ASSESSMENTS AND LIENS PROVIDED IN A DEED OR COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN DEED BOOK 2480, PAGE 1392, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW. NOTICE OF TRANSFER OF OWNERSHIP DATED OCTOBER 2, 2018 AND RECORDED ON OCTOBER 29, 2018 IN DEED BOOK 4154, PAGE 1589.
-AFFECTS SUBJECT AREA, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
23. TERMS AND CONDITIONS OF MEMORANDUM OF LEASE DATED AUGUST 7, 2002 BY AND BETWEEN THE GATOR HOLE DEVELOPMENT, L.L.C., A MISSOURI LIMITED LIABILITY COMPANY, AND OFFICE DEPOT, INC., A DELAWARE CORPORATION RECORDED ON MARCH 28, 2003 IN DEED BOOK 2579, PAGE 0812.
-DOES NOT AFFECT SUBJECT AREA
24. DISTRIBUTION RIGHT-OF-WAY IN FAVOR OF THE SOUTH CAROLINA PUBLIC SERVICE AUTHORITY SET FORTH IN INSTRUMENT RECORDED ON NOVEMBER 6, 2003 IN DEED BOOK 2665, PAGE 0268.
-UNABLE TO DETERMINE LOCATION OF EASEMENT FROM RECORDED DOCUMENT
25. DEED OF EASEMENT IN FAVOR OF THE CITY OR TOWN OF NORTH MYRTLE BEACH SET FORTH IN INSTRUMENT RECORDED ON JANUARY 20, 2004 IN DEED BOOK 2687, PAGE 0586.
-AFFECTS SUBJECT AREA, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
26. DEED OF DEDICATION OF WATER AND SEWER SYSTEM IN FAVOR OF THE CITY OF NORTH MYRTLE BEACH, COUNTY OF HORRY, STATE OF SOUTH CAROLINA, A MUNICIPAL CORPORATION SET FORTH IN INSTRUMENT RECORDED ON JANUARY 20, 2004 IN DEED BOOK 2687, PAGE 0573.
-AFFECTS SUBJECT AREA, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
27. TERMS AND CONDITIONS OF MEMORANDUM OF LEASE DATED MAY 7, 2004 BY AND BETWEEN THE GATOR HOLE DEVELOPMENT, L.L.C., AND RD MANAGEMENT, LLC, RECORDED ON MAY 25, 2004 IN DEED BOOK 2738, PAGE 0149.
-DOES NOT AFFECT SUBJECT AREA
28. COMMUNICATION SYSTEM RIGHT OF WAY IN FAVOR OF TIME WARNER ENTERTAINMENT - ADVANCE/NEWHOUSE PARTNERSHIP, THROUGH ITS SOUTH CAROLINA DIVISION, D/B/A TIME WARNER CABLE SET FORTH IN INSTRUMENT RECORDED ON NOVEMBER 9, 2004 IN DEED BOOK 2819, PAGE 1028.
-DOES NOT AFFECT SUBJECT AREA
29. TERMS AND CONDITIONS OF MEMORANDUM OF LEASE DATED JANUARY 25, 2012 BY AND BETWEEN THE GATOR HOLE DEVELOPMENT, L.L.C., A MISSOURI LIMITED LIABILITY COMPANY AND PETCO MARINE SUPPLIES STORES, INC., A DELAWARE CORPORATION RECORDED ON FEBRUARY 23, 2012 IN DEED BOOK 3589, PAGE 1935.
-DOES NOT AFFECT SUBJECT AREA
30. MORTGAGE, ASSIGNMENT OF LEASES AND RENTS, SECURITY AGREEMENT AND FINANCING STATEMENT FROM THE GATOR HOLE DEVCO DE, L.L.C., A DELAWARE LIMITED LIABILITY COMPANY, GRANTOR(S), IN FAVOR OF MORGAN STANLEY BANK N.A., A NATIONAL BANKING ASSOCIATION, DATED OCTOBER 2, 2018, AND RECORDED OCTOBER 3, 2018 IN DEED BOOK 6030, PAGE 1387. IN THE OFFICIAL RECORDS OF DEED BOOK 6030, PAGE 1387, THERE IS A REFERENCE TO \$3,000,000.00.
-AFFECTS SUBJECT AREA, NOT SHOWN ON SURVEY (BLANKET IN NATURE)
31. UNCANNING STATEMENT BETWEEN THE GATOR HOLE DEVCO DE, L.L.C., DEBTOR (S), AND MORGAN STANLEY BANK N.A., CREDITOR, FILED ON OCTOBER 3, 2018, IN THE OFFICIAL RECORDS AS DEED BOOK 6030, PAGE 1388. UCC CONTINUATION, TO THE ABOVE FINANCING STATEMENT WAS RECORDED ON APRIL 18, 2023, AS DEED BOOK 6030, PAGE 221.
-AFFECTS SUBJECT AREA, NOT SHOWN ON SURVEY (BLANKET IN NATURE)



Horizontal: Grid North, NAD83, South Carolina State Plane
(North American Datum of 1983) (2011)
International Foot, Horry County, South Carolina
Vertical: NAVD88 (North American Vertical Datum of 1988)
Geoid: Geoid18 (Conus)

(SEE TABLE "A" NOTE #6)

A ZONING REPORT CONTAINING SETBACK REQUIREMENTS, HEIGHT AND FLOOR SPACE AREA RESTRICTIONS, AND PARKING REQUIREMENTS WAS NOT PROVIDED AT THE TIME OF SURVEY.

THE SUBJECT PROPERTY IS ZONED "PDD" (PLANNED DEVELOPMENT DISTRICT) PER A ZONING VERIFICATION LETTER PREPARED BY BEN CALDWELL, ZONING ADMINISTRATOR, DATED 03/14/2025.

MINIMUM BUILDING SETBACKS LISTED BELOW ARE PER EMAIL FROM BEN CALDWELL, ZONING ADMINISTRATOR DATED 06/23/2025:

FRONT:	N/A
SIDE:	8'
REAR:	20'

A map showing the location of the site. The site is a shaded, irregularly shaped area. It is bounded by Hwy 17 N to the northwest, Hwy 87 N to the northeast, and Dietz Ln to the southwest. The site is located south of Ashley Loop. A north arrow is located in the top right corner. A box labeled "SITE" with an arrow points to the shaded area.

NOT TO SCALE

2. **SITE ADDRESS:** 550 HIGHWAY 17 NORTH, NORTH MYRTLE BEACH, SOUTH CAROLINA 29582
3. **FLOOD NOTE:** ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM) FOR Horry County, South Carolina, COMMUNITY-PANEL NUMBER: 4505/C00608R, DATED 12/02/2021, THE SUBJECT SITE AREA IS NOT IN A FLOOD ZONED AREA AND THERE ARE NO FLOOD INSURANCE RATES AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
4. **VERTICAL RELIEF:** ELEVATIONS & 1' CONTOURS SHOWN HEREON PER GROUND SURVEY AND ARE PURSUANT TO NORTH AMERICAN VERTICAL DATUM OF 1988. ORIGINATING BENCHMARK: NGS D31311 (PUBLISHED ELEVATION: 26.60)
5. (A) THE SUBJECT PROPERTY IS ZONED "PD" (PLANNED DEVELOPMENT DISTRICT) PER A ZONING VERIFICATION LETTER PREPARED BY BEN CALDWELL, ZONING ADMINISTRATOR, Horry County, SOUTH CAROLINA, REQUIREMENTS, HEIGHT AND FLOOR SPACE AREA RESTRICTIONS, AND PARKING REQUIREMENTS WERE NOT PROVIDED AT THE TIME OF SURVEY.
6. (B) A ZONING REPORT DATED 07/27/2021 BY BEN CALDWELL, ZONING ADMINISTRATOR, Horry County, SOUTH CAROLINA, FLOOR SPACE AREA RESTRICTIONS, AND PARKING REQUIREMENTS WERE NOT PROVIDED AT THE TIME OF SURVEY.
7. (A) EXTERIOR BUILDING DIMENSIONS SHOWN AT GROUND LEVEL.
8. (B) SQUARE FOOTAGE OF BUILDINGS BASED ON PLANS PREPARED BY SGA DESIGN GROUP, INC. DATED 07/27/2021 BY BEN CALDWELL, ZONING ADMINISTRATOR, Horry County, SOUTH CAROLINA.
9. (C) MEASURED HEIGHT OF BUILDINGS AS SHOWN
10. **SUBSTANTIAL FEATURES:** PARKING LOTS, BILLBOARDS, SIGNS, SWIMMING POOLS, LANDSCAPED AREAS, OR SUBSTANTIAL AREAS OF REFUSE LOCATED AS SHOWN.
11. THERE ARE 129 REGULAR PARKING SPACES AND 10 ADA PARKING SPACES ON THE SUBJECT PROPERTY WITHIN THE SUBJECT AREA.
12. **UTILITIES:** THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON DRAWINGS ON THE RECORD AND ON UTILITY REPORTS PREPARED BY SPRS DATED 04/11/2020 BY SPRS, INC. PROPERTY WITHIN THE SUBJECT UNDERGROUND UTILITIES WHICH ARE NOT SHOWN HEREON, ALL UTILITY COMPANIES SHOULD BE CONTACTED BEFORE BEGINNING ANY DESIGN OR CONSTRUCTION.
13. RECTIFIED ORTHOPHOTOGRAPHY: N/A - ALL IMPROVEMENTS SHOWN WITHIN THE SURVEY SUBJECT AREA LIMITS ARE FIELD LOCATED.
14. THE SURVEYOR SHALL GRAPHICALLY DEPICT AND GIVE THE RECORDING INFORMATION FOR ANY EASEMENTS, ENCUMBRANCES, OR TITLE COMMITMENTS OR OWNERSHIP AND ENCUMBRANCE REPORT OF WHICH THE SURVEYOR HAS KNOWLEDGE OF WITHIN THE SURVEYED SUBJECT AREA SHOWN HEREON. ALSO ANY EASEMENTS THAT THE SURVEYOR MAY HAVE KNOWLEDGE OF THAT WAS FOUND ON ANY RECORDED OR UNRECORDED SURVEYS OR DEEDS THAT MAY HAVE BEEN PROVIDED TO THE SURVEYOR.

1. THIS ALTA SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY NAMED HEREON. THIS SURVEY DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS OR ENTITY WITHOUT EXPRESS WRITTEN CERTIFICATION BY THE SURVEYOR NAMING SAID PERSON, PERSONS, OR ENTITY.
2. TOPOGRAPHIC SURVEY EXTENTS AND LIMITS OF INTERIOR IMPROVEMENTS SHOWN HEREON HAVE BEEN SPECIFIED BY THE CLIENT.
3. EASEMENTS AND RIGHTS OF WAY OF WHICH THE SURVEYOR HAS KNOWLEDGE ARE SHOWN HEREON. OTHERS MAY EXIST OF WHICH THE SURVEYOR HAS NO KNOWLEDGE AND OF WHICH THERE IS NO OBSERVABLE EVIDENCE. THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD BOTH WRITTEN AND UNWRITTEN.
4. NORTH ARROW AND BEARINGS SHOWN HEREON ARE BASED ON SOUTH MAGNETIC VARIATION OF 13.45° AS OF 12/1/2018. ALL DISTANCES ARE HORIZONTAL. GROUND MEASUREMENTS EXPRESSED IN INTERNATIONAL FEET.
5. **EQUIPMENT USED FOR MEASUREMENT:** ANGULAR/LINEAR: TRIMBLE S-5 ROBOTIC TOTAL STATION, TRIMBLE R10 GPS RECEIVER
6. STATE, COUNTY, & LOCAL BUFFERS AND SETBACKS MIGHT EXIST ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN HEREON.
7. THIS ALTA SURVEY IS LIMITED TO THE SUBJECT AREA SHOWN HEREON.

TO: WAL-MART REAL ESTATE BUSINESS TRUST, A DELAWARE STATUTORY TRUST;
FIDELITY NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS
BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL
REQUIREMENTS FOR ALTA/NSP'S LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND
ADOPTED BY ALTA AND NSP'S, AND INCLUDES ITEMS 2, 3, 5, 6(A)(B), 7(A)(B)(1)(C), 8, 9,
(A)(B), 15, 19 & 20A OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON
04/16/2025.

DATE OF MAP OR PLAT: 08/25/2025

Asam

CLYDE R. ELDREDGE
SOUTH CAROLINA PROFESSIONAL LAND SURVEYOR #27734

I, CLYDE R. ELDRIDGE, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF SOUTH CAROLINA, HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

THIS SURVEY IS NOT VALID UNLESS EMBOSSED WITH AN ORIGINAL SURVEYOR'S SEAL. WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 25TH DAY OF JUNE, 2025.

Digitally signed by
Clyde R Eldredge
Reason: I am

Clyde R. Eldredge approving this document
Date: 2025.06.27 16:31:35 -04'00'



CLYDE R. ELDREDGE
SOUTH CAROLINA PROFESSIONAL LAND SURVEYOR #27734



Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE
SOLE RESPONSIBILITY OF THE
CONTRACTOR; NEITHER THE OWNER
NOR THE ENGINEER SHALL BE
EXPECTED TO ASSUME ANY
RESPONSIBILITY FOR SAFETY OF
THE WORK, OF PERSONS ENGAGED
IN THE WORK, OF ANY NEARBY
STRUCTURES, OR OF ANY OTHER
PERSONS.

COPYRIGHT © 2025 ATWELL LLC NO
REPRODUCTION SHALL BE MADE
WITHOUT THE PRIOR WRITTEN
CONSENT OF ATWELL LLC

ATWELL
66.850.4200 www.atwell-group.com
1850 PARKWAY PLACE, SUITE 650
MARIETTA, GA 30067
770.423.0807
SOUTH CAROLINA SURVEY CO.# C04143

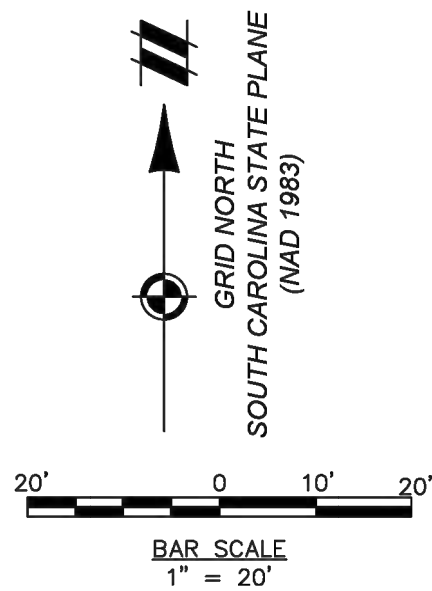
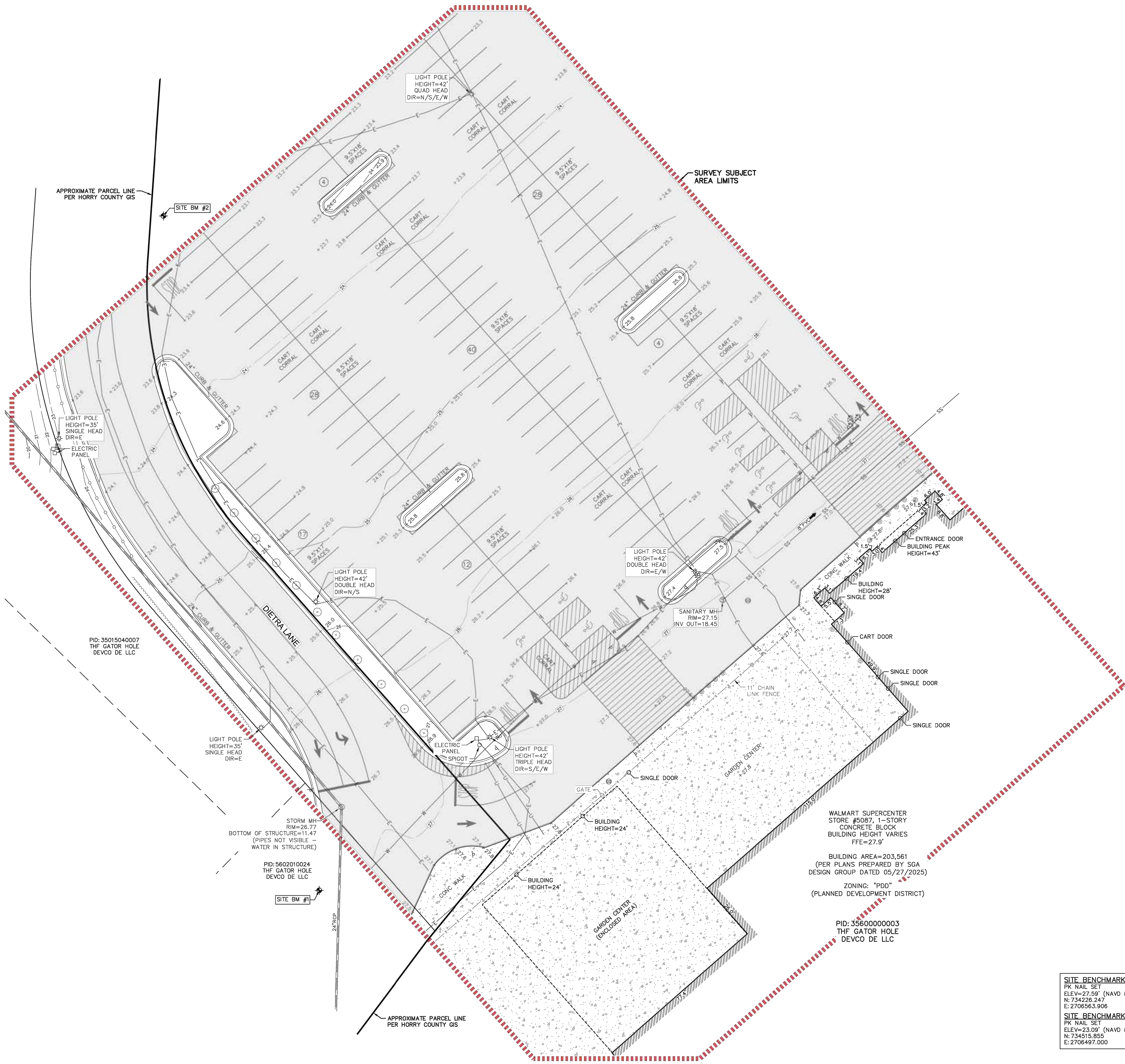
LOCATED IN	
LITTLE RIVER TOWNSHIP	
HORRY COUNTY	
SOUTH CAROLINA	

CLIENT	WALMART, INC.
	ALTA/NSPS LAND TITLE SURVEY
	550 HIGHWAY 17 NORTH
	NORTH MYRTLE BEACH, SC 29582

[illegible]

DWG.	DLG	CH.	CRE
P.M. KMK			
CODE		AS	
JOB		24009262	
SHEET NO.		1 OF 2	

FILE NAME: \\G:\ATWELL\Projects\24009262 - North Myrtle Beach, SC\DWG\Survey\24009262-11.dwg LAST SAVED BY: dpharis 6/25/2025 5:24 AM PLOTTED BY: Doreen Gaudin 6/25/2025 PAPER: A000 0 (36.00 X 24.00 INCHES) DESIGNED BY: TO: PROJECTS PLOT STYLE: BME-STDNAME.ctb



ABBREVIATIONS	
ADA	= AMERICANS WITH DISABILITIES ACT
BM	= BENCHMARK
(C)	= CALCULATED
CONC	= CONCRETE
DB	= DEED BOOK
INV	= INVERT
IRF	= IRON ROD FOUND
LB	= LICENSED BUSINESS
(M)	= MEASURED
NAD	= NORTH AMERICAN DATUM
NAVD	= NORTH AMERICAN VERTICAL DATUM
PB	= PLAT BOOK
PG	= PAGE
PID	= PARCEL IDENTIFICATION NUMBER
PK	= PARKER - KALON
PVC	= POLYVINYL CHLORIDE
(R)	= RECORD
RCP	= REINFORCED CONCRETE PIPE
RLS	= REGISTERED LAND SURVEYOR
RTK	= REAL-TIME KINEMATIC
RW	= RIGHT-OF-WAY
SQ FT	= SQUARE FEET
VRS	= VIRTUAL REFERENCE STATION

LEGEND	
	ANGLE POINT
	BENCHMARK
	BOUNDARY MARKER FOUND
	MULTI-TRUNK CRAPE MYRTLE
	SANITARY MANHOLE
	SANITARY CLEAN OUT
	ADA PARKING SPACE
	BOLLARD
	SIGN
	LIGHT POLE
	ELECTRIC RISER
	WATER VALVE
	DROP INLET
	STORM MANHOLE
	PARKING SPACE COUNT
	SPOT ELEVATION
	BUILDING STRUCTURE
	COVERED AREA
	CONCRETE PAVEMENT
	ASPHALT PAVEMENT
	SUBJECT BOUNDARY LINE
	ADJACENT BOUNDARY LINE
	RIGHT OF WAY LINE
	FENCE
	GUARD RAIL
	LIMITS OF VEGETATION
	GROUND CONTOUR
	UNDERGROUND ELECTRIC
	UNDERGROUND WATER
	UNKNOWN UNDERGROUND UTILITY
	SANITARY SEWER
	STORM SEWER
	ASPHALT STRIPING

SITE BENCHMARK #1
PK NAIL SET
ELEV=27.59' (NAVD 88)
N:734226.247
E:2706563.906

SITE BENCHMARK #2
PK NAIL SET
ELEV=23.09' (NAVD 88)
N:734515.855
E:2706497.000

Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2025 ATWELL, LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL, LLC.

ATWELL
866.850.4200 www.atwell-group.com
1850 PARKWAY PLACE, SUITE 650
MARLBOROUGH, MA 01752
770.423.0807
SOUTH CAROLINA SURVEY CO.# C04143

CLIENT	LOCATED IN	LITTLE RIVER TOWNSHIP
		HORRY COUNTY
		SOUTH CAROLINA
WALMART, INC.	ALTA/NSPS LAND TITLE SURVEY	
	550 HIGHWAY 17 NORTH	
	NORTH MYRTLE BEACH, SC 29582	
DATE	06/25/2025	
REVISIONS		
DWG. DLG	GH. CRE	
P.M. KMK		
CODE AS		
JOB 24009262		
SHEET NO.		
2 OF 2		

PROPOSED BUILDING ADDITION



SUPERCENTER #05087.243

550 HWY 17 N

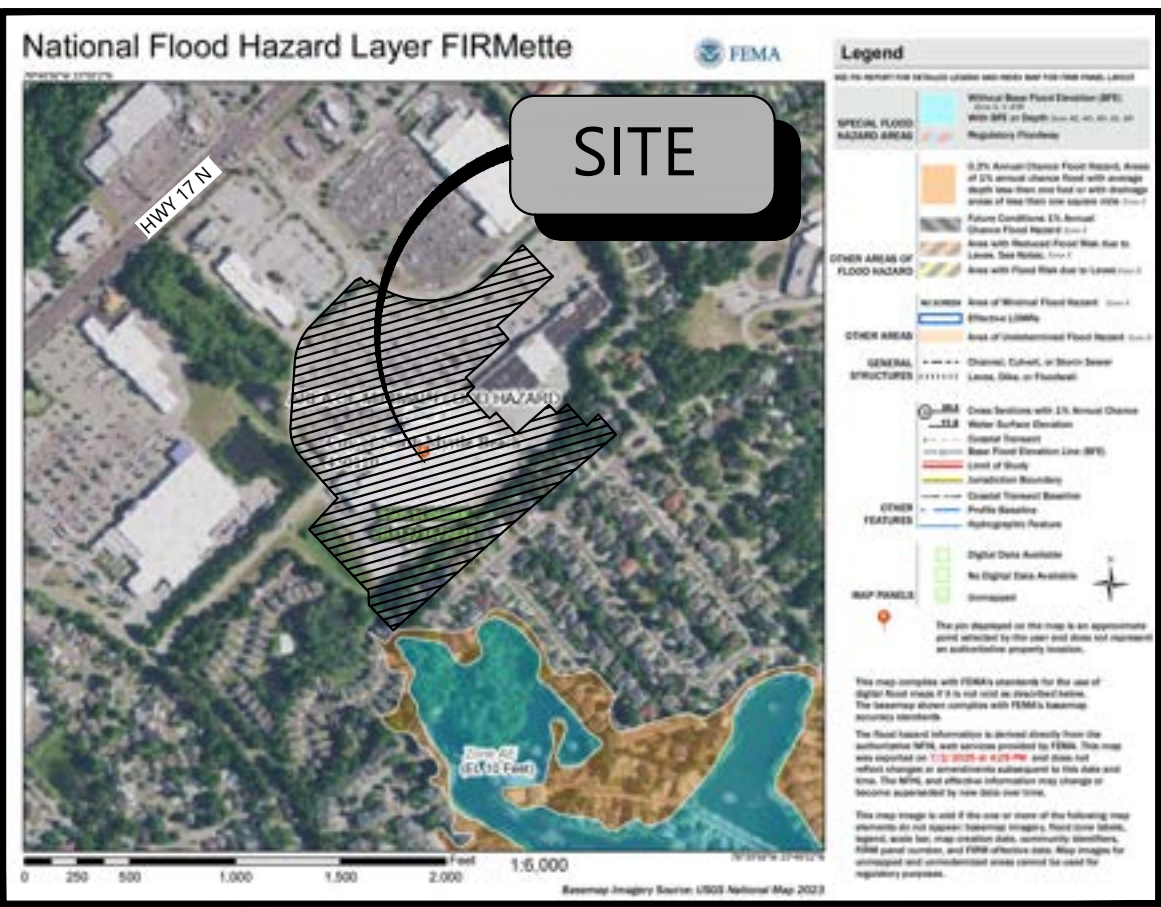
CITY OF N. MYRTLE BEACH, HORRY COUNTY, S. CAROLINA

TAX PARCEL: 35600000003



VICINITY MAP

N.T.S.



FEMA MAP

N.T.S.

NOTE: BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT
LIE IN A F.E.M.A./F.I.R.M. SPECIAL FLOOD HAZARD AREA PER COMMUNITY
PANEL NO. 45051C0608K DATED 12/16/2021.



AERIAL MAP

N.T.S.

WALMART SUPERCENTER #05087.243

TOTAL SITE AREA: 21.12± AC.
ZONING: PDD (PLANNED DEVELOPMENT DISTRICT)
JURISDICTION: CITY OF NORTH MYRTLE BEACH

DEVELOPMENT TEAM

DEVELOPER	CIVIL ENGINEER	SURVEYOR	ARCHITECT
WALMART, INC.	ATWELL, LLC	ATWELL, LLC	SGA DESIGN GROUP
2608 SE J STREET	1850 PARKWAY PLACE, SUITE 650	1850 PARKWAY PLACE, SUITE 650	1437 S. BOULDER AVENUE
BENTONVILLE, AR 72712	MARIETTA, GA 30067	MARIETTA, GA 30067	SUITE 550
PHONE: (479) 330-2070	PHONE: (770) 423-0807	PHONE: (770) 423-0807	TULSA, OK 74119
CONTACT: CHRISTY RAINS	FAX: (770) 423-1262	FAX: (770) 423-1262	PHONE: (918) 587-8602
	CONTACT: BRIAN PELHAM, PE	CONTACT: KEVIN KOZLOWICZ	CONTACT: CASSI LOWRY

GOVERNING AGENCIES AND UTILITY CONTACTS

NORTH MYRTLE BEACH PLANNING & DEVELOPMENT 1018 2ND AVE S NORTH MYRTLE BEACH, SC 29582 PHONE: (843) 280-5565 CONTACT: BEN CALDWELL	SC DEPT OF ENVIRONMENTAL SERVICES (DES) 2600 BULL STREET COLUMBIA, SC 29201 PHONE: (843) 953-0259 CONTACT: GEORGE COX
--	---

PROJECT NARRATIVE

PROPOSED 4,965± SQ.FT. BUILDING EXPANSION TO THE FRONT END OF BUILDING OF WALMART
SUPERCENTER #05087.243. IN ADDITION THE ADJACENT CONCRETE SIDEWALK WILL BE EXPANDED AND
GRADES ADJUSTED TO ACCOMMODATE THE PROPOSED BUILDING EXPANSION .

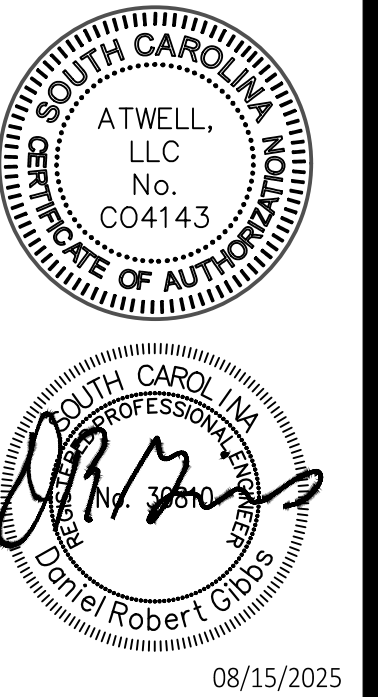
NOTES TO GENERAL CONTRACTOR (GC)

- GC TO EXECUTE COMPLETE PARKING LOT RESTRIPING, STRIPE/REFRESH ALL EXISTING PARKING FIELDS (MAIN, SIDES, AND REAR OF STORE).
- PREPARE AND REPAINT PARKING LOT LIGHT POLE BASES AND REMOVE PREVIOUS OVERSPRAY ON PAVEMENT. IF LIGHT POLE BASE IS WITHIN A RAISED CURB AND OFFSET FROM THE BACK OF CURB (OR CONCRETE BUFFER) BY 3 FEET OR LESS, THE BASE SHALL BE PAINTED/REPAINTED. IF LIGHT POLE BASE IS OFFSET FROM THE BACK OF CURB (OR CONCRETE BUFFER) BY MORE THEN 3 FEET, THE BASE SHALL NOT BE PAINTED UNLESS IT IS ALREADY PAINTED IN EXISTING CONDITIONS.
- PREPARE AND REPAINT EXISTING SIGN POST BOLLARDS AND REMOVE PREVIOUS OVERSPRAY ON PAVEMENT.
- EXISTING STRIPING SHALL BE REMOVED BY APPROVED PHYSICAL MEANS PRIOR TO SEAL COAT.
- GC TO ASSESS AND TRIM ANY TREES ON SITE THAT OBSCURE EXISTING OR PROPOSED SIGNAGE.
- IN THE EVENT STRIPING OR SIGNAGE IN THE PLANS DO NOT MATCH ONSITE CONDITIONS OR DIRECTION IS UNCLEAR, CONTRACTOR SHOULD NOTIFY THE ENGINEER FOR PROPER DIRECTION VIA THE REQUEST FOR INFORMATION (RFI) PROCESS.

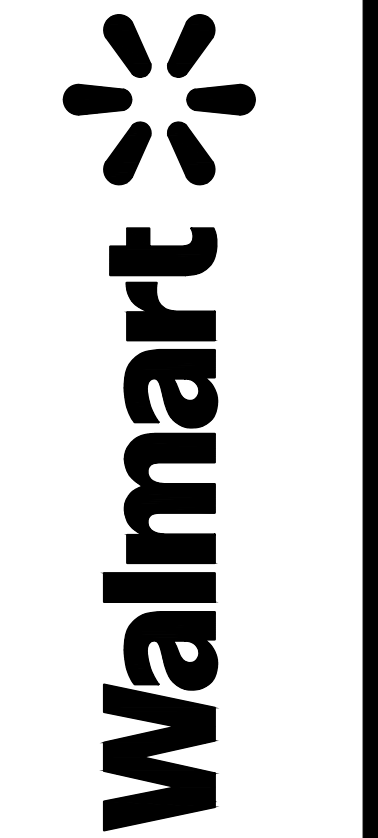
Sheet List Table	
Sheet Number	Sheet Title
C000	COVER SHEET
C010	OVERALL SITE PLAN
C020	ALTA/NSPS LAND TITLE SURVEY 1 OF 2
C030	ALTA/NSPS LAND TITLE SURVEY 2 OF 2
C100	SWPPP PLAN
C110	SWPPP DETAILS
C150	DEMOLITION PLAN
C200	SITE DIMENSION PLAN
C300	GRADING PLAN
C400	UTILITY PLAN
C450	PHOTOMETRIC PLAN
C500	STOP SIGNS AND MARKINGS PLAN
C550	DEMOLITION AND SITE CONSTRUCTION PLAN
C600	PICKUP STRIPING AND SIGNAGE PLAN
C700	SITE CONSTRUCTION DETAIL SHEET
C710	SECP AND STOP SIGNS AND MARKINGS DETAIL SHEET 1
C720	SECP AND STOP SIGNS AND MARKINGS DETAIL SHEET 2
C800	SPECIFICATIONS SHEET 1
C810	SPECIFICATIONS SHEET 2

COVER SHEET

REVISIONS	BY

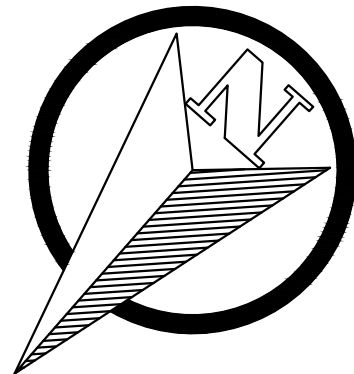


SUPERCENTER #05087.243
550 HWY 17 N
CITY OF N. MYRTLE BEACH, HORRY COUNTY, S. CAROLINA
WALMART, INC.
BENTONVILLE, AR



DRAWN SSS
CHECKED BL
DATE 08/15/25
SCALE
JOB No. 240009262
SHEET

C000



0 25' 50'
SCALE: 1"=50'

SITE ANALYSIS TABLE (EXISTING STORE)

	EXISTING	PROPOSED
TOTAL BUILDING AREA	203,561± S.F.	208,291± S.F.
REQUIRED PARKING(CITY OF NORTH MYRTLE BEACH)	591 SPACES	600 SPACES
REQUIRED PARKING RATIO (CITY OF NORTH MYRTLE BEACH)	583 + 2.00/1,000 S.F.	583 + 2.00/1,000 S.F.
REQUIRED PARKING (PER ECR/CC&R)	NOT APPLICABLE	NOT APPLICABLE
REQUIRED PARKING RATIO (PER ECR/CC&R)	NOT APPLICABLE	NOT APPLICABLE
CUSTOMER AND ASSOCIATE PARKING	868 SPACES	866 SPACES
ACCESSIBLE PARKING	42 SPACES	43 SPACES
EV PARKING	0 SPACES	0 SPACES
PICKUP PARKING	18 SPACES	33 SPACES
CART CORRALS (NOT INCLUDED IN PARKING COUNTS BELOW)	(7) SINGLE (25) DOUBLE	(4) SINGLE (21) DOUBLE
NUMBER OF SPACES POPULATED WITH A CART CORRAL	57 SPACES	46 SPACES
TOTAL PARKING EXCLUDING PICKUP STALLS	910 SPACES	909 SPACES
PARKING RATIO EXCLUDING PICKUP STALLS	4.47/1,000 S.F.	4.36/1,000 S.F.
TOTAL PARKING INCLUDING PICKUP STALLS	928 SPACES	942 SPACES
PARKING RATIO INCLUDING PICKUP STALLS	4.56/1,000 S.F.	4.52/1,000 S.F.

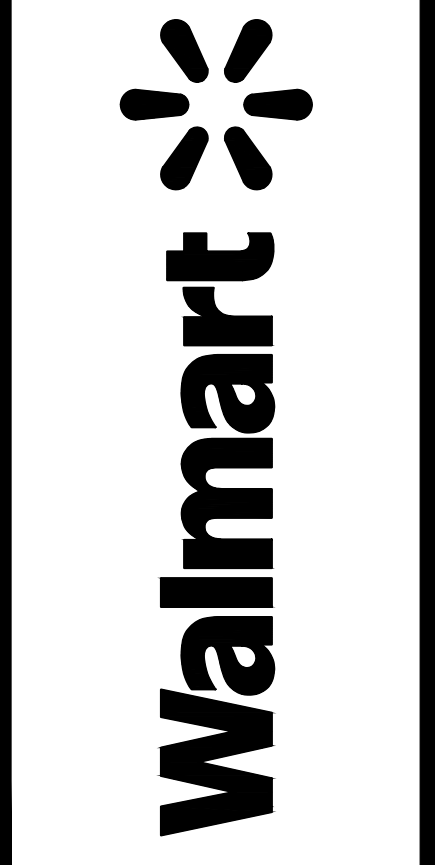
PARKING INFORMATION NOTES:
1. USABLE SQUARE FOOTAGE IS AS PER ARCHITECT DATED 06/27/25.
2. EXISTING PARKING COUNTS ARE BASED ON A FIELD COUNT DATED 03/07/25.

REVISIONS	BY

ATWELL
866.850.4200 www.atwell-group.com
1850 PARKWAY PLACE, SUITE 650
MYRTLE BEACH, SC 29577
770.633.0807
ATWELL, LLC CO# 4143

08/15/2025

SUPERCENTER #05087.243
550 HWY 17 N
CITY OF N. MYRTLE BEACH, Horry County, S. CAROLINA
WALMART, INC.
BENTONVILLE, AR



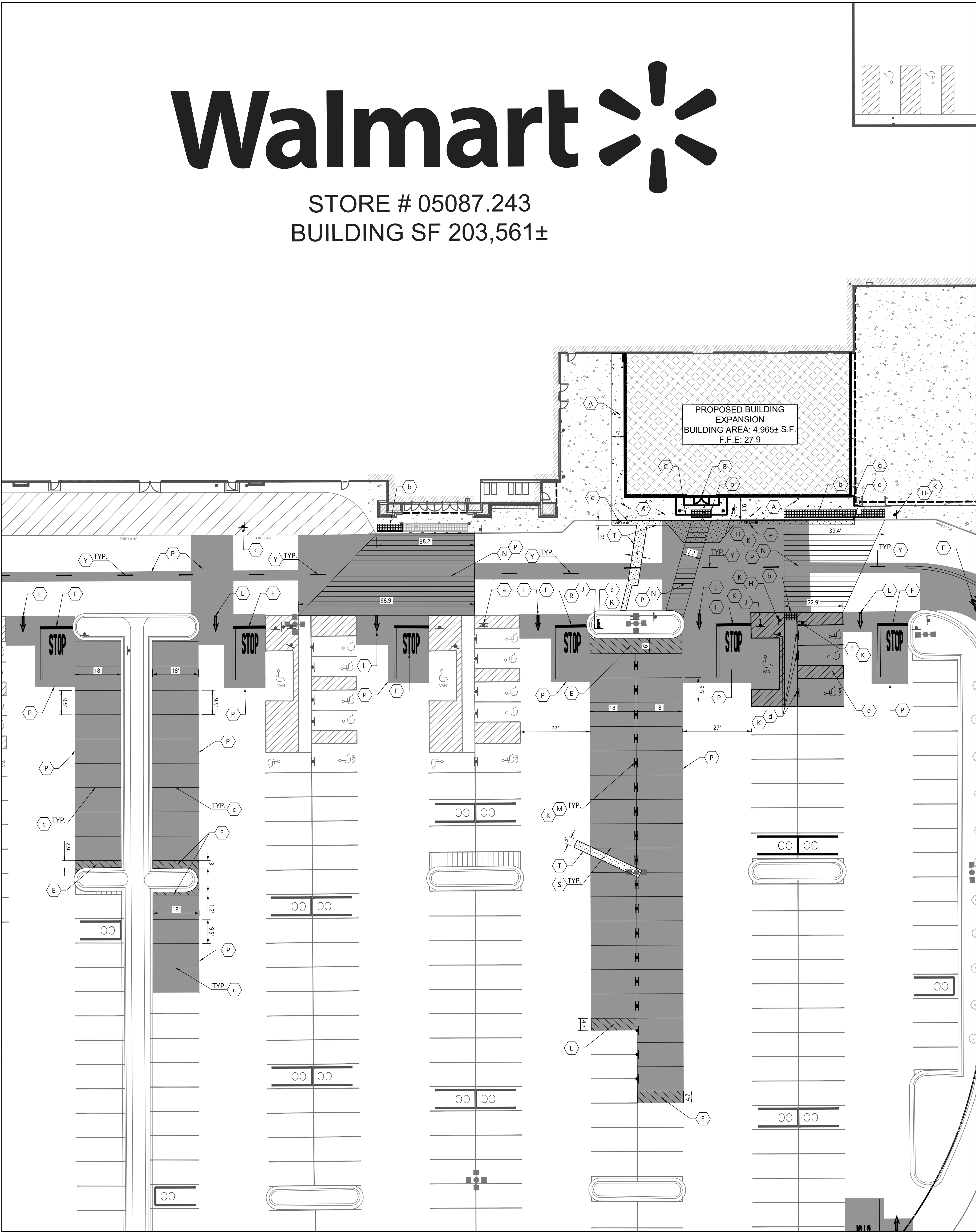
DRAWN	SSS
CHECKED	BL
DATE	08/15/25
SCALE	1"=50'
JOB No.	240009562
SHEET	

C010

OVERALL SITE PLAN



STORE # 05087.243
BUILDING SF 203,561±



SITE LEGEND

- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING SETBACK LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED SETBACK LINE
- 100 YEAR FLOOD PLAIN
- STOP BAR (PAVEMENT MARKING)
- TRAFFIC FLOW ARROW (PAVEMENT MARKING)
- SIGN
- LIGHT POLE
- CONCRETE
- STANDARD DUTY PAVING
- ASPHALT MILL AND OVERLAY
- SEAL COAT

SITE KEYNOTES

- REFERENCE DETAIL SHEET
- PROPOSED SIDEWALK, 5% MAX. LONGITUDINAL SLOPE, 2% MAX. CROSS SLOPE. SEE DETAIL SHEET.
 - NEW DELIVERY DOORS. REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS AND DETAILS.
 - LIMITS OF OVERHEAD CANOPY, REFER TO ARCHITECTURAL PLANS FOR SPECIFICATIONS AND DETAILS.
 - NEW 4" WIDE SOLID WHITE STRIPE (TYP.)
 - NEW 4" WIDE SOLID YELLOW STRIPES AT 45° @ 2'-0" O.C.
 - NEW STOP BAR AND STOP TEXT. SEE DETAIL SHEET.
 - NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.
 - NEW "STOP HERE FOR PEDESTRIANS" SIGN.
 - NEW 30"x30" STOP SIGN.
 - NEW SIGN MOUNTING AND BASE WITH BOLLARD.
 - NEW OPEN ARROW PAVEMENT MARKINGS. SEE DETAIL SHEET.
 - NEW OPD PARKING STALL SIGNAGE (TYP.) SEE DETAIL SHEET.
 - NEW CROSSWALK MARKINGS - 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND 11'-0" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
 - LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED.
 - NEW FIRE LANE STRIPING.
 - NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
 - NEW OPD PARKING STALL STRIPING (TYP.) SEE DETAIL SHEET.
 - NEW ASPHALT PAVEMENT.
 - NEW 18" CONCRETE CURB & GUTTER.
 - NEW 6" PIPE BOLLARD.
 - NEW RAMP SEE DETAILS.
 - ASPHALT MILL AND OVERLAY.
 - NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18" GAPS.
 - NEW PARKING STALL STRIPING. SEE SEC/P/SSM DETAILS SHEET.
 - NEW FIRE LANE STRIPING & LETTERING.
 - NEW DETECTABLE WARNING. SEE ARCHITECTURAL PLANS.
 - NEW DIRECTIONAL PICKUP SIGN. SEE PICKUP STRIPING AND SIGNAGE PLAN.
 - NEW ADA PARKING STALL SIGNS.
 - NEW ADA PARKING STALL STRIPING.
 - RELOCATED PARKING ROW SIGN.
 - NEW DECORATIVE CHAIN LINK FENCE TO MATCH EXISTING GARDEN FENCE.



VICINITY MAP
N.T.S.

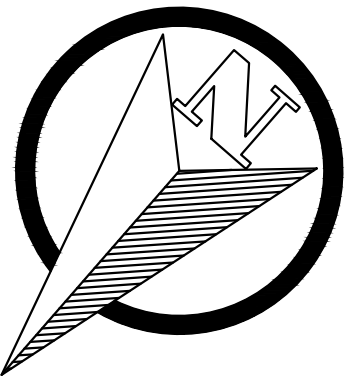
SITE AREA	
TOTAL PROPERTY AREA:	21.12± AC
DISTURBED AREA:	0.14± AC
ZONING CLASSIFICATION	
JURISDICTION:	CITY OF NORTH MYRTLE BEACH
ZONING:	PDD (PLANNED DEVELOPMENT DISTRICT)
ADJACENT ZONING:	SINGLE FAMILY RESIDENTIAL LOW DENSITY, R-1 AND MEDIUM DENSITY, R-2 TO THE EAST OF PROPERTY, PDD PLANNED DEVELOPMENT DISTRICT TO THE NORTH AND SOUTH WEST, HIGHWAY COMMERCIAL DISTRICT, H-C TO THE NORTHWEST OF PROPERTY.
BUILDING SETBACKS	
FRONT	25'
SIDE	15'
REAR	15'
BUILDING SUMMARY	
PROPOSED BUILDING EXPANSION:	4,730± SF
EXISTING BUILDING AREA:	203,561± SF
BUILDING HEIGHT LIMIT:	45'

SITE NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
- REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, TRUCK DOCKS, SIDEWALKS, STEPS, TRANSFORMER PADS, ETC.
- TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER, ATWELL, LLC.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOWN TO BUILDINGS ARE TO OUTSIDE FACE OF BUILDING.
- ALL STRIPED OR CURBED RADII SHALL BE 5' UNLESS OTHERWISE NOTED.
- CONCRETE TRUCK DOCKS ARE BY THE BUILDING CONTRACTOR.
- ALL ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS AND STATE CODE.
- ALL TRAFFIC SIGNS SHALL CONFORM TO THE UNIFORM TRAFFIC CONTROL MANUAL AND THE STATE OF SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ONSITE OR OFF SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY THE ENGINEER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.
- SITE LIGHTING SHALL BE INCLUDED IN THE GENERAL CONTRACTOR'S SCOPE OF WORK. ALL PARKING LOT LIGHTING POLES, BASES AND FIXTURES WITH LAMPS SHALL BE INSTALLED BY THE GENERAL CONTRACTOR'S ELECTRICAL CONTRACTOR AND SHALL SUPPLY A ONE YEAR WARRANTY CERTIFICATE.
- CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
- SITE CONTRACTOR SHALL SUPPLY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS.
- ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.
- ANY UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE CONSTRUCTION PROCESS SHALL BE IDENTIFIED TO THE ENGINEER IMMEDIATELY.
- PROJECT SIGNAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL CURB AND GUTTER WITHIN THE DEVELOPMENT SHALL BE 18" UNLESS NOTED OTHERWISE.
- PARKING LOT STRIPING SHALL BE INCLUDED IN PAVING CONTRACTOR'S SCOPE OF WORK. STRIPING WILL BE ACCORDING TO OWNER'S SPECIFICATIONS UNLESS NOTED OTHERWISE. ALL STRIPING IS TO HAVE TWO (2) COATS OF PAINT (MIN).
- LIGHT POLE BASES SHALL BE PAINTED TRAFFIC YELLOW PER SITE WORK SPECIFICATIONS.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WORK AND APPURTENANCE TO WITHIN 5' OF THE BUILDING. THIS INCLUDES TRANSFORMER AND DUMPSTER PADS AS WELL AS ALL UTILITY CONDUITS.

NOTES TO CONTRACTOR:

- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
- PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
- EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED SHALL BE REMOVED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BUILDING FRONTAGE ROAD (BFR) SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

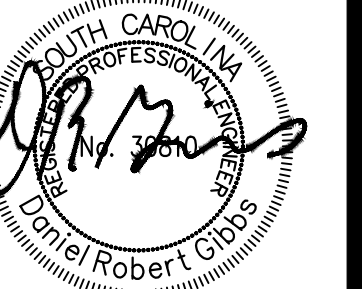


0 10' 20'
SCALE: 1"=20'

SITE DIMENSION PLAN

REVISIONS	BY

ATWELL
866.850.4200 www.atwell-group.com
1850 PARKWAY PLACE, SUITE 650
MYRTLE BEACH, SC 29577
770.433.0807
ATWELL, LLC CO# 4143



08/15/2025

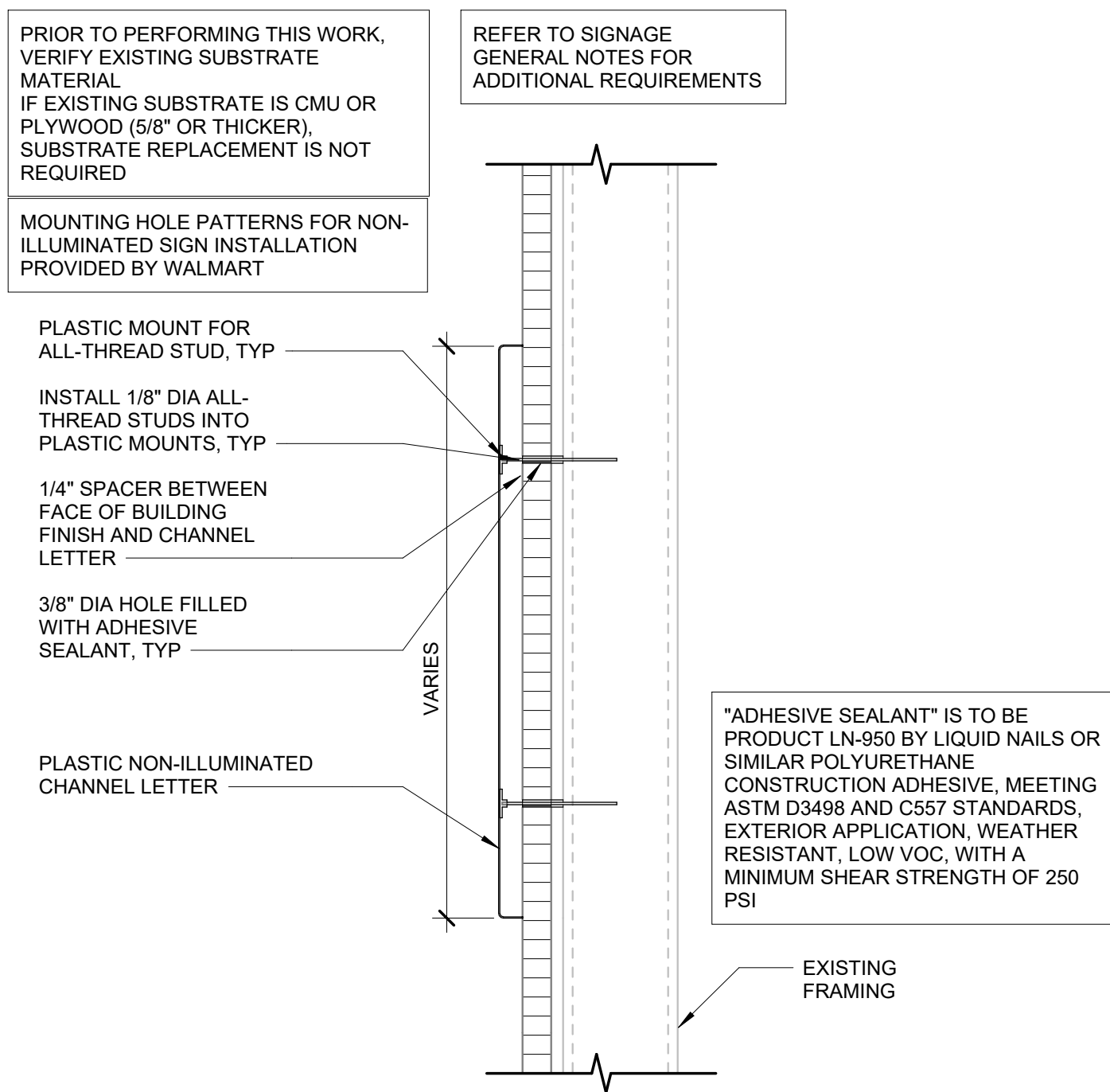
SUPERCENTER #05087.243
550 HWY 17 N
CITY OF N. MYRTLE BEACH, Horry County, S. CAROLINA
WALMART, INC.
BENTONVILLE, AR



DRAWN	SSS
CHECKED	BL
DATE	08/15/25
SCALE	1"=20'
JOB No.	240090262
SHEET	

C200

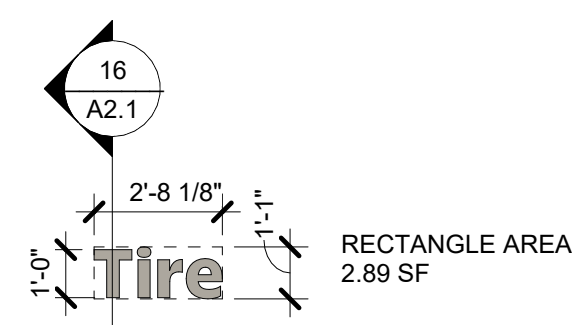
20 EXISTING MULTI-TENANT SIGN
1/8" = 1'-0"



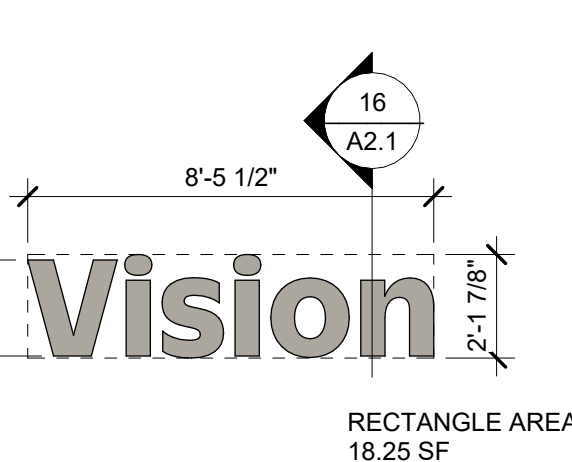
17 SIGN ATTACHMENT AT EIFS AND METAL STUD WALL
1 1/2" = 1'-0"



13 1'-0" ADDRESS
1/4" = 1'-0"

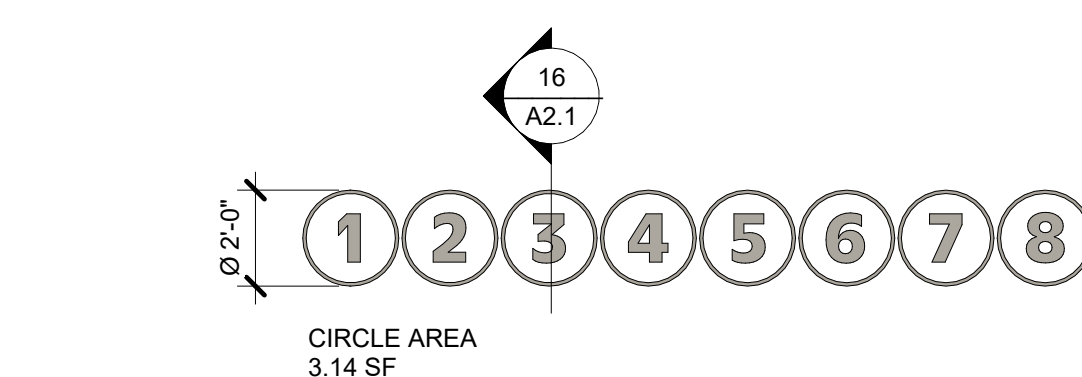


7 1'-0" TIRE SIGN
1/4" = 1'-0"

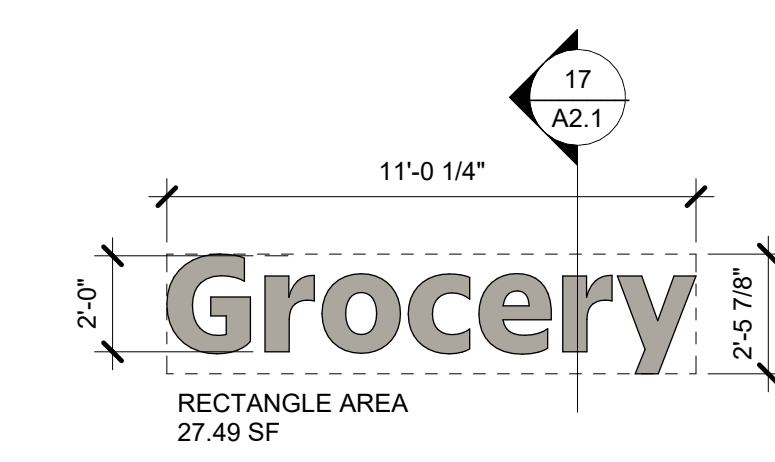


5 2'-0" VISION SIGN
1/4" = 1'-0"

12 1'-0" OIL CHANGE
1/4" = 1'-0"

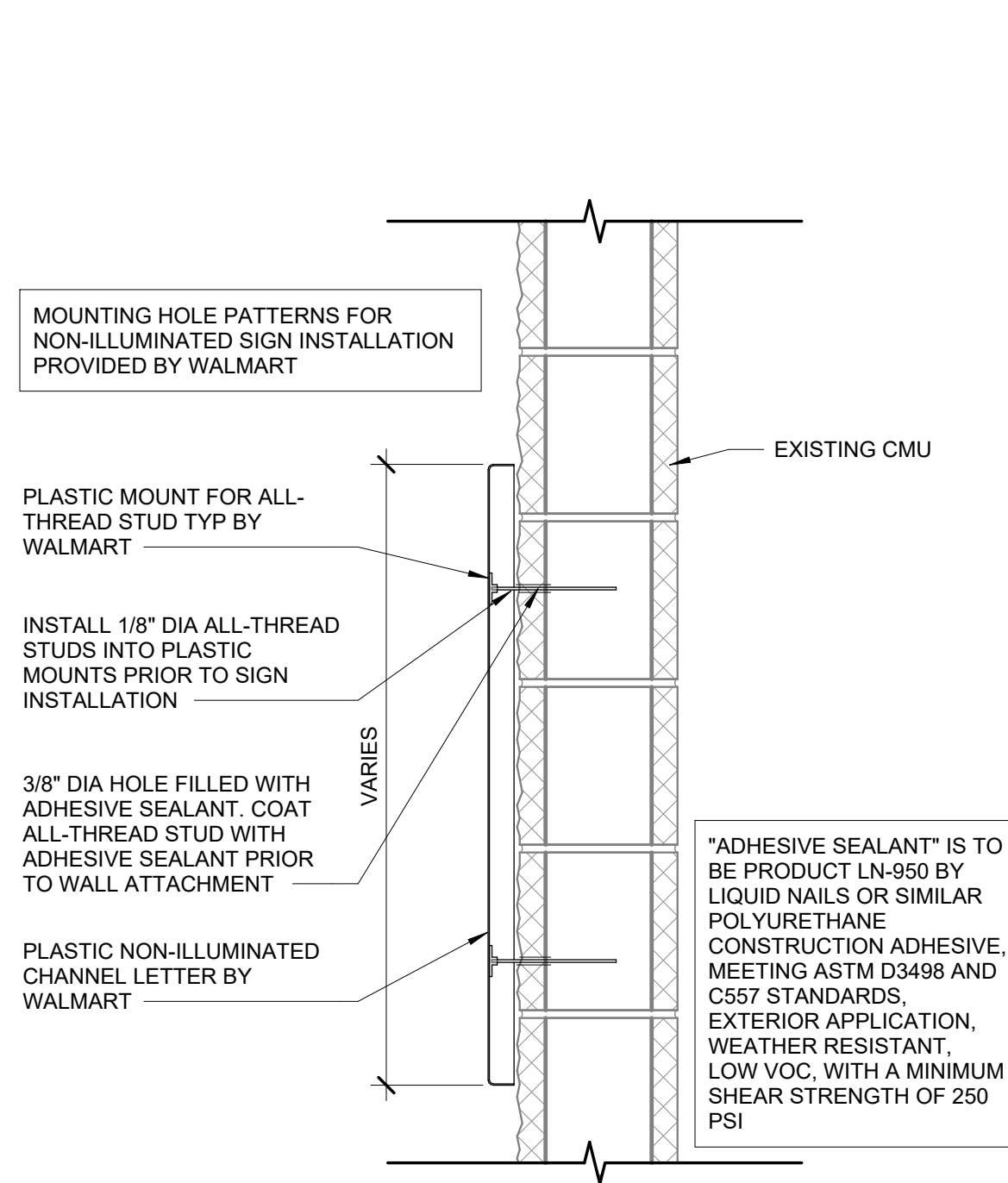


6 2'-0" NUMERAL SIGNS
1/4" = 1'-0"

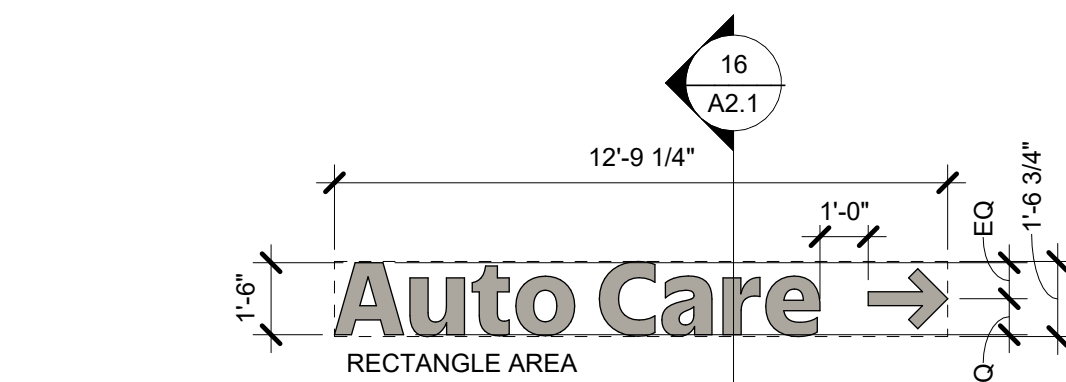


4 2'-0" GROCERY
1/4" = 1'-0"

19 SIGN ATTACHMENT AT EIFS AND CMU
1 1/2" = 1'-0"



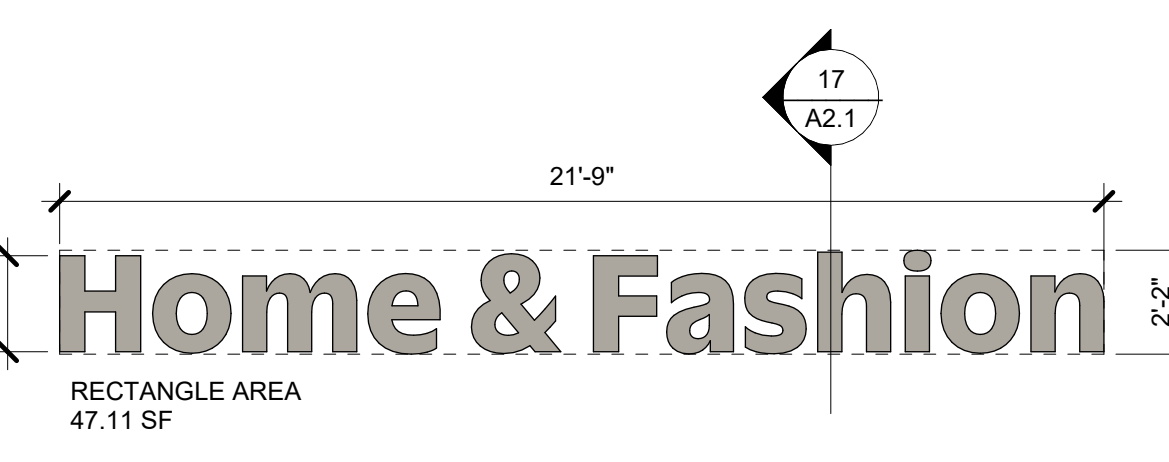
16 SIGN ATTACHMENT AT CMU WALL
1 1/2" = 1'-0"



11 1'-6" AUTO CARE
1/4" = 1'-0"



3 2'-0" HOME & FASHION SIGN
1/4" = 1'-0"



3 2'-0" HOME & FASHION SIGN
1/4" = 1'-0"

EXISTING SIGNAGE SCHEDULE						
SIGNAGE LOCATION	QTY	LIGHTED	COLOR	SIZE	AREA (SF)	TOTAL AREA (SF)
FRONT SIGNAGE						
Walmart "Spark"	1	LED	WHITE	5'-6"	298.00 SF	298.00 SF
(Spark) 1' Pickup	1	LED	WHITE	2'-6"	66.68 SF	66.68 SF
ADDRESS (550)	1	N/A	WHITE	1'-0"	0.00 SF	0.00 SF
FRONT SIGNAGE						
TOTAL BUILDING SIGNAGE						364.68 SF

15'-0"

2'-0"

1'-0"

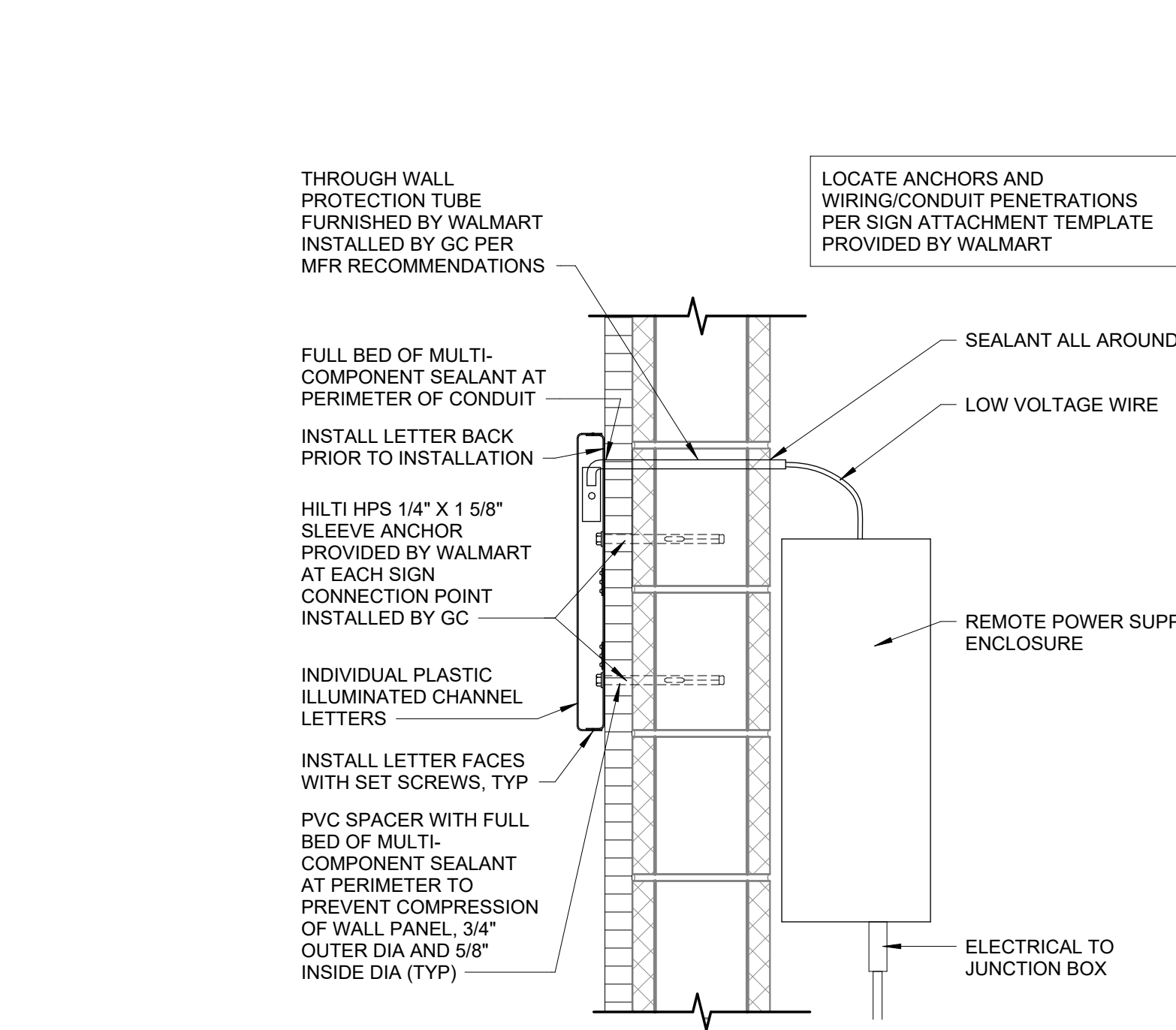
6'-0-3"

COLOR PMS 2728C BLUE BY SIGN INSTALLER

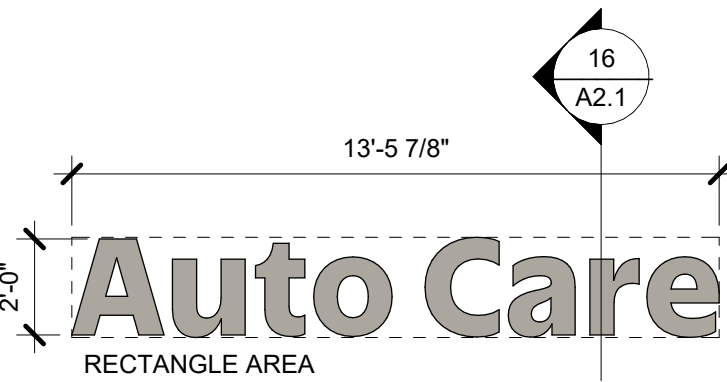
EXISTING LIGHT POLE

REF CIVIL PLANS FOR SIGN LOCATION

18 PICKUP BANNER AT EXISTING LIGHT POLE
3/16" = 1'-0"



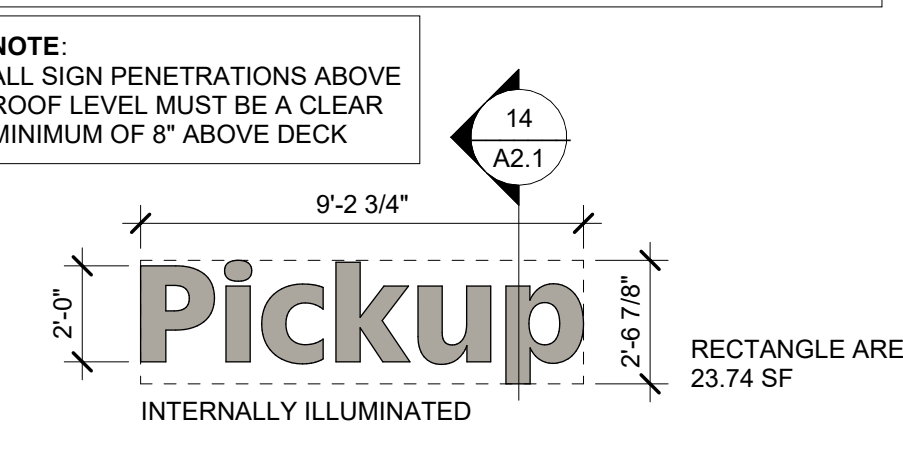
15 LIT SIGNAGE ATTACHMENT AT EIFS ON CMU
1 1/2" = 1'-0"



10 2'-0" AUTO CARE SIGN
1/4" = 1'-0"



2 2'-0" PICKUP SIGN
1/4" = 1'-0"



2 2'-0" PICKUP SIGN
1/4" = 1'-0"

NEW ENTERPRISE SIGNAGE SCHEDULE									
NOTE: THE SQUARE FOOTAGE IS NOT REQUIRED FOR THE SIGNAGE SHOWING 0.00 SF.									
ETR / NEW	SIGNAGE	HEIGHT	COLOR	ILLUMINATED	QTY	RECTANG / CIRCLE AREA (SF)	TOTAL RECTANG / CIRCLE AREA (SF)		
FRONT SIGNAGE									
NEW	Walmart	6'-0"	WHITE	YES	1	200.12	200.12		
NEW	Spark	6'-0"	YELLOW	YES	1	94.72	94.72		
NEW	Pickup	2'-0"	WHITE	YES	1	23.74	23.74		
NEW	Grocery	2'-0"	WHITE	NO	1	27.49	27.49		
NEW	Home & Fashion	2'-0"	WHITE	NO	1	47.11	47.11		
NEW	Pharmacy	2'-0"	WHITE	NO	1	34.84	34.84		
NEW	Outdoor	2'-0"	WHITE	NO	1	24.96	24.96		
NEW	Auto Care ->	1'-6"	WHITE	NO	1	20.01	20.01		
NEW	Vision	2'-0"	WHITE	NO	1	18.25	18.25		
NEW	Address Numbers	1'-0"	WHITE	NO	1	0.00	0.00		
FRONT SIGNAGE					10		491.24		
AUTO CARE									
NEW	Auto Care	2'-0"	WHITE	NO	1	28.16	28.16		
NEW	Numerals	2'-0"	WHITE	NO	8	3.14	25.12		
NEW	Oil Change	1'-0"	WHITE	NO	4	9.51	38.04		
NEW	Tire	1'-0"	WHITE	NO	4	2.89	11.56		
AUTO CARE					17		102.88		
TOTAL BUILDING SIGNAGE: 27					27		594.12		

- ### SIGNAGE GENERAL NOTES
- SIGNAGE FURNISHED BY WALMART AND INSTALLED BY GC THROUGH OWNER ASSIGNED SIGN CONTRACTOR
 - ALL EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON BUILDING UNTIL GC SIGN COMPANY IS ON SITE
 - EXISTING SIGNAGE WILL THEN BE REMOVED, PATCH AND REPAIR WORK WILL BE COMPLETED AT SIGN LOCATIONS, AND SIGNAGE WILL BE INSTALLED PER PLANS
 - A TEMPORARY BANNER WILL BE INSTALLED PRIOR TO REMOVAL OF EXISTING EXTERIOR SIGNAGE
 - BANNER WILL REMAIN IN PLACE UNTIL ALL MODIFICATIONS AND/OR REPAIRS HAVE BEEN COMPLETED AND SIGNAGE IS INSTALLED
 - TEMPORARY BANNER WILL BE APPROXIMATELY 125 SF, 5' x 25'
 - EXTERIOR SIGN WORK NEEDS TO BE SCHEDULED, COORDINATED, AND COMPLETED DURING WEEK 6 OF CONSTRUCTION SCHEDULE
 - NOT USED
 - GC RESPONSIBILITIES
 - BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGN(S) WILL BE INSTALLED
 - IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SPECS
 - NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION
 - PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE, REF SIGN DETAILS FOR LIGHTED ID/LOGO SIGNS
 - PROVIDE JUNCTION BOXES AND CIRCUITRY TO "Walmart" and "spark" SIGNAGE
 - EXISTING (8) BOXES FROM "WAL-MART" SIGNAGE MAY BE REUSED
 - INSTALL ACCESS DOORS AND FRAMES IN GYPSUM BOARD CEILINGS IF REQ'D BY RELOCATION OF EXISTING TENANT SIGNAGE
 - VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE, REF ELEC
 - MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE
 - REMOVE ALL LIT ID/LOGO SIGNS AND UNLIT EXTERIOR STUD MOUNTED BUILDING SIGNS, UNLESS NOTED OTHERWISE
 - MAKE REQ'D EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS PER SPECS

SGA Design Group, P.C.
1437 South Boulder, Suite 550
Tulsa, Oklahoma 74106
T: 918.587.8600
F: 918.587.8601
www.sgadesigngroup.com

STIPULATION FOR REUSE
THIS DRAWING HAS BEEN PREPARED FOR THE USE OF THE ARCHITECT AND ITS USE IS LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF SGA DESIGN GROUP, P.C. IS PROHIBITED. THE ARCHITECT ASSUMES ALL LIABILITY FOR ANY REUSE OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF SGA DESIGN GROUP, P.C.

CONSULTANTS

Walmart
NORTH MYRTLE BEACH, SC
550 HWY 17 N
STORE NO: 05067-243
JOB NUMBER: 2402033 PHOTO: 192

ISSUE BLOCK

CHECKED BY: SR RO/AVT
DRAWN BY: NMP/SM
PROTO CYCLE: 04/25/25
DOCUMENT DATE: 08/15/25

THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF SGA DESIGN GROUP, P.C. THIS ELECTRONIC DOCUMENT IS RELEASED FOR THE PURPOSE OF REFERENCE, COORDINATION AND/OR FACILITY MANAGEMENT. THIS DRAWING SHALL NOT BE CONSIDERED FINAL OR COMPLETE UNLESS IT IS SIGNED AND SEALED BY THE ARCHITECT.

STATE OF SOUTH CAROLINA
SSA DESIGN GROUP, P.C.
REGISTERED ARCHITECTS
Tulsa, OK 97042

STATE OF SOUTH CAROLINA
TRAVIS REID HAGER
REGISTERED ARCHITECT
TULSA, OK 8278

08/15/2025

EXTERIOR SIGNAGE

SHEET: A2.1

6C. MAJOR PLANNED DEVELOPMENT DISTRICT AMENDMENT Z-25-16: City staff received an application for a major amendment to the Gator Hole Planned Development District (PDD), expanding the Walmart Supercenter for online pickup and storage.

Background

Originally entitled in May of 2000, the Gator Hole PDD is bounded by Highway 17 on the North and Hillside Drive to the south and located between 2nd and 8th Avenues North. Phase One of the PDD was ±62.96 acres and consisted of commercial uses with the purpose of providing commercial opportunities to the traveling public, and areas in the community where large-scale commercial projects may take place with minimal impact on contiguous residential development.

Proposed Changes

The applicant, Shay Stripling, engineer and agent for the owner, requests a major amendment to the Gator Hole PDD to allow for a ±4,965 square foot building expansion at the front of the existing store. The purpose of the expansion is to modify the store layout to accommodate an enlarged online pickup and storage area. The proposal also includes associated site improvements such as restriping portions of the parking lot, adjusting grades and sidewalks to support the addition, and updating signage and striping to reflect the revised layout.

Staff Review

Planning & Development, Planning Division

The planning division has no issue with the proposed amendment.

Planning & Development, Zoning Division

The Zoning Administrator has no issue with the proposed amendment.

Public Works

The Public Works Department has no issue with the proposed amendment.

Public Safety

The Fire Marshal has no issue with the proposed amendment.

According to § 23-4, Amendments, of the Zoning Ordinance, the advertisement requirement for Zoning Ordinance amendments is 15 days, and that advertisement notice has been met. The amendment is presented to the Planning Commission for a recommendation that will be forwarded to City Council at their next meeting scheduled for October 20, 2025.

Planning Commission Action

The Planning Commission may approve, approve with modifications and/or conditions, or deny the proposal as submitted.

Alternative Motions

- 1) I move that the Planning Commission recommend approval of the major planned development district amendment to the Gator Hole PDD [Z-25-16] as submitted.

OR

- 2) I move that the Planning Commission recommend denial of the major planned development district amendment to the Gator Hole PDD [Z-25-16] as submitted.

OR

- 3) I move (an alternate motion).

PDD Zoning Finance Account Code:	3.22
FEE PAID:	\$500.00 on September 23, 2025
FILE NUMBER:	Z-25-16
Complete Submittal Date:	September 23, 2025



Notice Published:	September 18, 2025
Planning Commission:	October 7, 2025
First Reading:	October 20, 2025
Second Reading:	November 3, 2025

City of North Myrtle Beach, SC

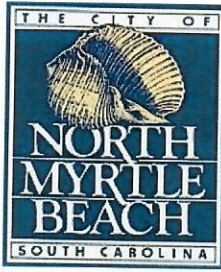
**Application for a Major Amendment
to a Planned Development District (PDD)**

GENERAL INFORMATION

Date of Request: September 11, 2025	Property PIN(S): 35600000003
Property Owner(s): THF GATOR HOLE DEVCO DE LLC	Type of Zoning Map Amendment: Major PDD Amendment
Address or Location: 560 N HWY 17 North Myrtle Beach, SC 29582	Project Contact: Shay Stripling
Contact Phone Number: Contact the Planning Division for Info	Contact Email Address: Contact the Planning Division for Info
PDD Name: Gator Hole	Total Area of Property: 21.12 Acres
Proposed Amendment: PROPOSED 4,965± SQ.FT. BUILDING EXPANSION TO THE FRONT END OF THE EXISTING WALMART SUPERCENTER #05087.243 LOCATED AT 550 HWY 17 N. THE EXPANSION WILL PROVIDE ONLINE ORDER PICKUP STORAGE AND AN ASSOCIATE DISPENSE DOOR.	

RECORDED COVENANT INFORMATION

I hereby certify that the tract(s) or parcel(s) of land to which this approval request pertains is not restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity for which approval is sought, as provided in South Carolina Code of Laws (§ 6-29-1145). <i>Applicant's E-signature: <u>Shay Stripling</u></i>
This form complies with a state law that took effect on July 1, 2007 (S.C. Code § 6-29-1145) that requires all planning agencies to inquire in an application for a permit if the parcel of land is restricted by a recorded covenant that is contrary to, conflicts with, or prohibits the permitted activity. If such a covenant exists, the agency shall not issue the permit until written confirmation of its release is received. The release must be through the action of an appropriate legal authority.



CITY OF NORTH MYRTLE BEACH
LETTER OF AGENCY

Revision Date 05.24.19

Today's Date: 08/14/25

Nature of Approval Requested:

Property PIN(s): 35600000003 - Walmart tax parcel only

Property Address/Location: 550 Hwy. 17 N., N. Myrtle Beach, SC. 29582

I, **Gary Rittle**, hereby authorize **Atwell, LLC - Shay Stripling**

to act as my agent for for the purposes of the above referenced approval.

Signature

Asset Manager for Owner

Title

Signature

Title

Signature

Title

Signature

Title

Signature

Title

Signature

Title

Please have all property owners sign application; disregard additional spaces if not needed. If additional signature lines are required, please duplicate this sheet and bind all sheets together into one document.

[illegible]

BILSON & ASSOCIATES
LANDSCAPE ARCHITECTS/LAND PLANNERS
40 POWDER SPRINGS STREET
MARIETTA, GA 30060 (770) 419-0006

LANDSCAPE PLAN - COMMERCIAL TRACT
GATOR HOLE PUD
CITY OF NORTH MYRTLE BEACH, SOUTH CAROLINA
PREPARED FOR
THE GATOR HOLE DEVELOPMENT, LLC.

DRAWN
WATKINS
CHECKED
BILSON
DATE
3/13/00
SCALE
1" = 100'
JOB No.
00-122
SHEET

PUD-2D

OF SHEETS

