

REQUEST FOR CITY COUNCIL CONSIDERATION

Meeting Date: August 16, 2021

Agenda Item: 5B	Prepared by: L. Suzanne Pritchard, PLA, AICP
Agenda Section: Consent: Ordinance. Second Reading	Date: August 5, 2021
Subject: Esperanza PDD and Hope Pointe [Z-21-6]	Division: Planning and Development

Background:

Adjacent to Tidewater Plantation on Little River Neck Road, the Esperanza PDD was entitled in 2007. The originally approved PDD contained a variety of residential products – Single-family homes, townhouses, multiplexes, and multi-family condos. Other features of the original PDD included amenity areas, a community marina with 50 slips on the Atlantic Intracoastal Waterway, and a commercial area meeting the standards of the Neighborhood Commercial (NC) district at the front of the property on Little River Neck Road. The density of the original PDD was limited to 375 dwelling units, and the project provided 27.7% open space. No portion of the entitled PDD has been constructed except for the boat slips on the waterway, but an existing unused residence remains on the property.

Proposed Changes:

The applicant, DDC Engineers, agent for the developer, has requested an amendment to the Esperanza PDD revising the project into Hope Pointe. This amendment reduces the overall density from 375 dwelling units to 250 dwelling units and removes the previously approved multiplex and multi-family uses from the development (3.81 dwelling units per acre down from 5.71 dwelling units per acre previously). The neighborhood commercial area adjacent to Little River Neck Road is also removed and converted to an area for townhomes. The remaining commercial component of the PDD is a proposed retail ship store on the Atlantic Intracoastal Waterway, near the existing community marina, which will be no larger than 5,000 square feet in size. This retail element will be completed prior to the issuance of 50% of the building permits for residential units within this project. The existing community marina will continue as a private marina limited in use to Hope Pointe property owners, and the development provides an amenity area and overlook park for residents. Total open space is 47.5%, a nearly 70% increase from the existing PDD.

The proposed development largely follows the previously created road network and winds around the existing wetlands on site. 146 townhomes are located at the front of the property adjacent to Little River Neck Road, and 104 single-family lots complete the residential portion of the development with typical dimensions of 52' by 120'. A standard 20' perimeter project setback applies throughout the project except the portion of the property which abuts Tidewater Plantation and Little River Neck Road. Along the Tidewater Plantation property line, a 40' minimum (in some places larger) perimeter buffer will be maintained with the first 25' of this buffer consisting of a year-round vegetated screen. Along Little River Neck Road, a 40' landscaped setback will also be provided.

Architecturally, the original Esperanza PDD was created as a Mediterranean coastal village with stucco or brick exteriors and tiled roofing. The Hope Point PDD revises this architectural style to a traditional coastal southern style using stucco, brick, stone, and a variety of siding types – horizontal lap, board and batten, and cedar shake – with architectural shingles or standing seam metal roofing. Street standards conform to city standards with a 50' right-of-way with sidewalks and street trees and 22' driveways for access to the townhome portions of the development.

Planning Commission Action:

The Planning Commission conducted a public hearing on June 22, 2021 and voted 6-1 to approve the request with the contingency that the amenity center would be completed by 60% of building permits being issued (or the 151st unit). Staff additionally requested small housekeeping revisions that were all made by the applicant. There were no public comments.

Recommended Action:

Approve ordinance on second reading

Reviewed by Division Head

Reviewed by City Manager

Reviewed by City Attorney

Council Action:

Motion By _____ 2nd By _____ To _____

ORDINANCE

AN ORDINANCE OF THE CITY OF NORTH MYRTLE BEACH PROVIDING THAT THE CODE OF ORDINANCES, CITY OF NORTH MYRTLE BEACH, SOUTH CAROLINA, BE AMENDED BY REVISING THE ESPERANZA PLANNED DEVELOPMENT DISTRICT (PDD) TO THE HOPE POINTE PDD.

Section 1:

That the Esperanza PDD be amended to the Hope Pointe PDD through changes to the master plan and governing documents, entitled “HOPE POINTE PLANNED DEVELOPMENT DISTRICT (P.D.D.) DOCUMENT” dated March 2021, noting a list of exhibits in the following ways:

- SECTION 1: PURPOSE AND INTENT STATEMENT
- SECTION 2: PROJECT DEVELOPER AND TITLE
- SECTION 3: MASTER SITE PLAN
- SECTION 4: DEVELOPMENT DESCRIPTION
- SECTION 5: GENERAL DEVELOPMENT STANDARDS THROUGHOUT THE P.D.D.
 - A. Dimensional and Density Standards
 - B. Landscaping, Open Space, Parking, Maximum Heights of Structures and Signage
 - C. Access and Entrance Features
 - D. Parking Requirements
- SECTION 6: MAINTENANCE AND CONTROL
- SECTION 7: TENTATIVE CONSTRUCTION SCHEDULE

APPENDICES:

- Appendix A: P.D.D. Documentation (Including Survey, Master Site Plan, Phasing Plan, Master Water and Sewer Plan, Master Drainage Plan
- Appendix B: Hope Pointe P.D.D. Vicinity Map and Illustrative Master Plan
- Appendix C: Typical Project Elevations
- Appendix D: Conceptual Landscaping Plant Location Including Proposed Buffer Plantings, Conceptual Landscape Plan and Plant Materials List
- Appendix E: Site Aerial Photographs
- Appendix F: Typical Lighting within a P.D.D.
- Appendix G: Signage

The proposed Preliminary Master Plan & PDD Modification Request listed above shall replace the approved and recorded PDD booklet approved by 2nd Reading of Ordinance by City Council on July 2, 2007.

Section 2:

That the North Myrtle Beach Planning Commission has provided the required public notice of this request and has held the necessary public hearings in accordance with applicable State Statutes and City Ordinances.

DONE, RATIFIED AND PASSED, THIS _____ DAY OF _____, 2021.

ATTEST:

Mayor Marilyn Hatley

City Clerk

APPROVED AS TO FORM:

City Attorney

REVIEWED:

City Manager

FIRST READING: 7.19.2021

SECOND READING: 8.16.2021

ORDINANCE: 21-27



DDC Engineers
BOLTON & MENK, INC.



HOPE POINTE PDD



CITY OF NORTH MYRTLE BEACH, SC 29582
AUGUST 16, 2021



DDC Engineers
BOLTON & MENK, INC.

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Myrtle Beach, SC 29577
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August 10, 2021

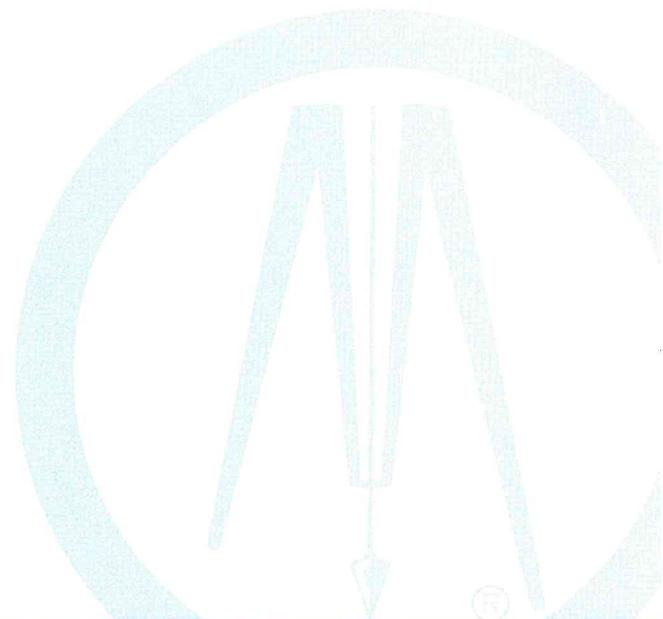
**Re: Hope Pointe PDD
DDC P/N 20084L**

Ms. Pritchard:

Please find the updated text and graphics which include all of our updates based upon staff comments. If you may have any questions, please contact me at your convenience.

Sincerely,
DDC ENGINEERS

Brent J. Schulz
Principal Planner





August 10, 2021

Ms. Suzanne Pritchard
City of North Myrtle Beach
1015 2nd Avenue South
North Myrtle Beach, South Carolina 29582

**Re: Hope Pointe
DDC P/N 20084L**

Dear Ms. Pritchard:

Please find the following responses to the staff comments below:

1. Remove all strike-through and underlines throughout document, so City Council has the “clean” version.
Response: All strike-through and underlines have been removed to create a “clean” version.
2. Cover - Update date to say August 16, 2020
Response: The cover has been updated with the date of August 16, 2021.
3. Page 1, Update date to say August 16, 2020
Response: Page 1, has been updated with the date of August 16, 2021.
4. Page 2, Add Tree Exhibit to Table of Contents.
Response: Tree Exhibit has been added to the Table of Contents as Exhibit H.
5. Page 2, Add “Enclosures” to Table of Contents listing Illustrative Plan and Master Plan at Scale X
Response: Enclosures have been added to the Table of Contents as Exhibit I along with three Sectional Plan Sheets. Per your comment 12, the Illustrative Plan has been removed.
6. Page 4, Development Description: Second paragraph should read: “Residential products within the PDD will include single-family and townhouse units. Amenities are scattered throughout the development, including a main amenity center with pool, pocket park, overlook park with gazebo, boardwalk, exercise stations, dog park, tot lot, and open spaces.”
Response: Development Description on Page 4 has been updated to reflect the wording above.

7. Page 4, Section 5, A. Dimensional and Density Standards: Second paragraph should read: "See Table 2, Proposed Gross Densities, for specific density information. The size and location of these land uses are illustrated on the submitted sheet entitled Planned Unit Development Districts. The overall gross density for this project is currently projected to include 146 townhouse units and 104 single-family lots for a total of 250 DU. The associated Development Agreement for the project caps units at 260. If the Developer wishes to increase the number of units from 250, up to 260, or change the ratios of single-family to townhouse units, it will require a Major Amendment of this Planned Development District, though not an amendment of the Development Agreement."

Response: Page 4, Section 5, A. Dimensional and Density Standards has been updated to reflect the wording above. The updated density number is 249, rather than 250.

8. Page 6, Table 2, Proposed Gross Densities: Add a 'note 2' in the table where it says "Total (Phase 1), in the column that says "250 current plan". The note should read "May be increased up to 260 units with a Major Amendment to the PDD." Insert the same note in the same column in the section labeled "Grand Total, Phase 1 & II"

Response: Note 2 above has been added to Table 2, Proposed Gross Densities on Page 6. The updated density number is 249, rather than 250.

9. Page 9, Section 8, Contributions for Public Good: Change section B to read: "The Developer has agreed to contribute to the City, at the time of submitting a preliminary plat for approval of each of the Eight (8) respective residential subphases of the Project, the sum of Fifty Thousand and No/100 (\$50,000) Dollars. In the event the Developer has not submitted each of the preliminary plats for the Eight (8) residential subphases of the Project prior to the date which is Ten (10) years from the date of the First Amendment of this PDD Ordinance, the Developer shall remit to the City an amount equal to Four Hundred Thousand (\$400,000) Dollars, less any amount previously paid at the submittal of any of the preliminary plats for a phase of the Project. The Developer and the City have agreed that such funds shall be used in the discretion of the City, for public good, which may include, but shall not be limited to parks and recreation and beach access parking. In the event that the public contributions listed herein are in conflict with those enumerated in the Development Agreement, the latter shall control."

Response: Page 9, Section 8 has been revised per email instructions on July 27, 2021 from Robert Guyton. Please see below.

SECTION 8: ADDITIONAL FEES AND PUBLIC BENEFITS

The Developer and the City acknowledge that the Property was previously subjected to the Esperanza P.U.D. (the "Prior Ordinance"), which Prior Ordinance included a contribution agreement requiring total contributions to the City in an amount equal to (i) \$50,000.00 for each the Eight (8) proposed phases of development, totaling \$400,000, and if not paid in full in 5 years, the remaining balance must be paid at the end of 5 years; and (ii) \$1,000.00 each of the proposed 375 residential units to be developed under the Prior Ordinance; and (iii) \$50,000.00 as a portion of the costs to be incurred by the City in commissioning a traffic study for Little River Neck Road. In lieu of the fees set forth under the Prior Ordinance, and in addition to any other fees set forth elsewhere in this Agreement, Developer and City acknowledge that the Project and its residents will place additional demands on certain services, resources and amenities provided by the City for its residents, and, in accordance with the terms of the PDD, Developer shall also pay to the City, or make for the benefit of the City, those public benefits set forth in the PDD, which fees are being paid in lieu of any other impact fees or development fees adopted by the City at any time during the Term of this Agreement, as set forth below:

- A. The contribution to the City of an amount equal to \$50,000.00 for each of the Eight (8) Phases within the PDD, at the time of Developer's submittal of a preliminary plat for each respective Phase, totaling \$400,000.00, provided that, not later than Ten (10) business days following the Fifth (5th) anniversary of this Agreement, Developer shall pay to the City, the difference between the total of the amounts previously paid by Developer to the City and \$400,000.00.
- B. Beachfront parking fee in an amount equal to \$1,100.00 per Residential Unit, together with a park enhancement fee in an amount equal to \$200.00 per Residential Unit, each as shown on the approved Master Plan, and which total of \$1,300.00 per Residential Unit shall be payable at the time of building permit issuance, provided, however that, to the extent the aggregate total of the beachfront parking fees and park enhancement fees paid in the aggregate are less than \$375,000.00, then, not later than Ten (10) business days following the 5th anniversary of the date of this Agreement, Developer shall pay an additional amount equal to the difference between the amounts previously paid for beachfront parking fees and park enhancement fees, in the aggregate, and the greater of (i) \$375,000.00; or (ii) an amount equal to \$1,300.00 per Residential Unit shown on the approved Master Plan.

10. Appendix A, Illustrative Plan: Change pool/pool deck/pool house structure to be labeled as amenity center (instead of pool). Propagate this change to all plans in the document: Master, Sub phasing, Water/Sewer/Drainage, & Full size plans.

Response: The Illustrative Plan has been removed, per Note #12. All other plans have been updated.

11. Appendix A, Master Plan: Move jurisdictional wetland labels so there is no text conflict. Propagate this change to all relevant plans in the document: Sub phasing, Water/Sewer/Drainage, & Full size plans

Response: Complete.

12. Appendix B: Remove Illustrative Plan (too many inconsistencies with Master)

Response: Removed.

Point of Clarification

DDC made minor adjustments to the sidewalk plan which in our opinion, made the development much more "walkable". In addition, we also relocated a cul-de-sac from the lower loop road to the upper loop road. This was made due to environmental and topographic constraints.

If you may have any other comments, please feel free to contact me at your convenience.

Sincerely,
DDC ENGINEERS



Brent J. Schulz
Principal Planner

Cc: Project File

HOPE POINTE PLANNED DEVELOPMENT DISTRICT (P.D.D.) DOCUMENT

August 16, 2021

PN: 20084L

Prepared For: City of North Myrtle Beach Planning Commission

Project Developer: NVR, Inc.

Prepared By:



P.D.D. DOCUMENT TABLE OF CONTENTS

SECTION 1: PURPOSE AND INTENT STATEMENT

SECTION 2: PROJECT DEVELOPER AND TITLE

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SECTION 5: GENERAL DEVELOPMENT STANDARDS THROUGHOUT THE P.D.D.

- A. Dimensional and Density Standards
- B. Landscaping, Open Space, Parking, Maximum Heights of Structures and Signage
- C. Access and Entrance Features
- D. Parking Requirements

SECTION 6: MAINTENANCE AND CONTROL

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- Appendix E: Site Aerial Photograph
- Appendix F: Typical Lighting within a P.D.D.
- Appendix G: Signage
- Appendix H: Tree Exhibit
- Appendix I: Enclosures
Conceptual Site Plans

SECTION 1: PURPOSE AND INTENT STATEMENT

The purpose of a Planned Unit Development (P.D.D.) is to encourage flexibility in the development of Land in order to promote its most appropriate use; to improve the design, character, and quality of new development; to facilitate the provision of streets and utilities; and to preserve the natural and scenic features of open areas. (City of North Myrtle Beach Zoning Ordinance § 23-29 (Municipal Code Corporation 1989 reprinted 1997).

All development within the Project will be regulated by the Master Site Plan and the City of North Myrtle Beach, South Carolina (the "City")¹; and the North Myrtle Beach Code of Laws. All development will be consistent with the requirements of applicable North Myrtle Beach Zoning Regulations and other applicable codes and ordinances of the City of North Myrtle Beach unless specifically identified within this document. The definitions applicable throughout this Document are set forth in Section 23-2 of the City of North Myrtle Beach Zoning Ordinance.

SECTION 2: PROJECT DEVELOPER AND TITLE

The Project title of this development is the Hope Pointe Planned Development District. The Project developer is NVR, Inc. The term "Developer" as used throughout this Document may also include all subsidiaries and affiliates of NVR, Inc., and the term will also include any of its successors in interest or successors in title and/or assigns by virtue of assignment or other instrument.

SECTION 3: MASTER SITE PLAN

Appendix A of this Ordinance, attached hereto, contains the P.D.D. Documentation, including the Master Site Plan depicting the Project ("Master Site Plan"). The Master Site Plan (Sheet 1) shall be binding on the property, and any major departure shall be authorized by amendment only. This Project will include phases I and II. A general description of development intended within is listed below.

- A. Phase I;** Development in phase I will consist of ± 65.69 acres within the project to include the fifty (50) foot right-of-way and the twenty-two (22') foot pavement and curb driveway, single family, townhouses, amenity area, private community marina, and all relevant infrastructure necessary for the phase 1 development including water, sewer, drainage, parking and other supporting utilities. Phase I will be developed simultaneously in sub phases with amenities inclusive. ⁽¹⁾

- B. Phase II;** Includes the AICW Commercial Retail component of the project. This waterway focused commercial element will direct its focus towards providing retail services to the typical waterway traffic. A small parking area is provided to service this facility internally in addition to the primary marine traffic. This will minimize additional commercial related traffic along Little River Neck Road while providing a mixture of uses. It is the intention that the completion of this facility will occur prior to but at a maximum point at the issuance of the building permit associated with fifty (50) percent of the residential units of the project total.

⁽¹⁾ Residential development in phase I will consist of a maximum of eight (8) sub-phases in order to consider environmental priorities, the economy and other unforeseen impacts.

SECTION 4: DEVELOPMENT DESCRIPTION

This Planned Development District will be nestled along the Atlantic Intracoastal Waterway (AICW) amid loblolly pines and white oaks along the historical Little River Neck of Horry County, South Carolina. It is here that Esperanza, Spanish for “hope”, will emerge. Through a synthesis of compatible land uses, this P.D.D. will allow for a walk-able, viable and self-sustaining community. A grand entrance feature will greet visitors and residents to a cherished coastal South Carolina experience.

Residential products within the PDD will include single-family and townhouse units. Amenities are scattered throughout the development, including a main amenity center with pool, pocket park, overlook park with gazebo, boardwalk, exercise stations, dog park, tot lot, and open spaces.

In addition to the upland amenity features of the project, a community marina with a dock not to exceed 50 slips will be provided within that portion of the property that is contiguous to the Atlantic Intracoastal Waterway (AICW). The marina will be private, with its use limited to Hope Pointe property owners, their invited guests, and associated area for the commercial ship store and grill.

Continuity of materials, spatial treatments and tasteful design relationships will provide the Hope Pointe P.D.D. with a sense of place. Architectural design of buildings will be consistent with an overall coastal South Carolina theme. (1)

(1). Exteriors of all buildings throughout each phase of this development will be consistent in quality, design and choice of colors that are indigenous to the development theme.

SECTION 5: GENERAL DEVELOPMENT STANDARDS THROUGHOUT THE P.U.D.

A. DIMENSIONAL AND DENSITY STANDARDS

The Developer will conform to the setback requirements set forth in the development standards established in Table 1(see page #5). There will be a standard perimeter setback of twenty (20') feet from the outer perimeter property lines inward of the project, except for that portion of the project which abuts Tidewater Plantation. Here the perimeter setback will be **forty (40') feet** from the outer perimeter property lines. Within the **40 foot** buffer, the **first 25 feet inward from the exterior property line that abuts Tidewater Plantation** shall be comprised of landscaping that will provide a year-a-round vegetative buffer (**see paragraph B, footnote #2 of this section**) and planted according to required caliper size. Hope Pointe will also provide a forty (40) foot building setback off Little River Neck Road and meet the P.D.D. landscape requirements where it fronts the right-of-way. Further, Hope Pointe P.D.D. will provide a year-a-round vegetative planting within the twenty (20) foot buffer on the right-side exterior property line adjacent to properties abutting the Riverside Drive subdivision.

See Table 2, Proposed Gross Densities, for specific density information. The size and location of these land uses are illustrated on the submitted sheet entitled *Planned Unit Development Districts*. The overall gross density for this project is currently projected to include 147 townhouse units and 102 single-family lots for a total of 250 DU. The associated Development Agreement for the project caps units at 260. If the Developer wishes to increase the number of units from 249, up to 260, or change the ratios of single-family to townhouse units, it will require a Major Amendment of this Planned Development District, though not an amendment of the Development Agreement.

TABLE 1

PROPOSED DIMENSIONAL STANDARDS CHART

Propose Uses Phase I	Min. Site Area (Square Feet)	Minimum Setbacks (Feet)			Max Height (4)	Separation of Structures
		Front	Side	Rear		
Single family (1)	No Minimum Requirement	0'	0'	15'	40'	10' (2)
Townhouse (1) Common (3) Ownership	No Minimum Requirement	0'	0'	15'	48'	20'
Residents (1) Amenities (5)	No Minimum Requirement	0'	5'	5'	35'	
Private (1) Marina (5)	No Minimum Requirement	0'	0'	0'	35'	
Phase II Commercial (5)	No Minimum Requirement	0'	0'	0'	35'	

(1)

The required perimeter setback of twenty (20) feet shall be observed. Where the exterior property line abuts Tidewater Plantation and Little River Neck Road there will be a minimum setback of forty (40) feet for all structures.

(2)

Side yard of zero (0') feet allowed, so long as an individual lot's other side yard is doubled (i.e. 10').

(3)

Townhouses may have side yards of zero (0') feet to allow for common sidewalls. A minimum of two (2) up to a max of six (6) dwelling units shall be attached with common walls. Multiple unit buildings shall meet the (20') foot separation requirement at each end of the building.

(4)

Building height measured as highest vertical distance from the ground level at the building line to the mid-point of the roof between the lower eave and the highest point of the roof. Building height does not include architectural features such as, but not limited to spires, belfries, cupolas, widow walks, etc.

(5)

Where structure separation is not listed, they shall meet minimum separations in accordance with the City of North Myrtle Beach Building Code Standards.

TABLE 2
PROPOSED GROSS DENSITIES

Residential Uses	Approximate Gross Areas (ac)	Dwelling Units	Estimated Gross Density (DU=dwelling unit)
Single Family	± 46.26 AC	102 DU	2.20 DU/AC
Townhouse (in common)	± 19.43 AC	147 DU	7.57 DU/AC
Amenity Area	± 0.36 AC	N/A	N/A
Private Marina	± 0.68 AC	N/A	N/A
Total (Phase I) (1)	± 65.07 AC	249 (2)	3.83 DU/AC

(2) Note: “May be increased up to 260 units with a Major Amendment to the PDD.”

Future Marina Commercial (Phase II)	Approximate Gross Area (ac)	Proposed Dwelling units	Estimated Gross Density (DU=dwelling unit)
Marina Retail	± 0.62 Acres	N/A	No Greater Than 5,000 Square Feet of Gross Floor Area
Grand Total (Phase I & II) (2)	± 65.69 AC	249	3.79 DU/AC

(1) Phase 1 will consist of eight (8) sub phases as shown in Appendix A Phasing Plan pg#3.

(2) Note: “May be increased up to 260 units with a Major Amendment to the PDD.”

B. LANDSCAPING, OPEN SPACE, PARKING, MAXIMUM HEIGHTS OF STRUCTURES, AND SIGNAGE

*Landscaping, open space requirements, building heights, and signage within the P.D.D. will conform to the following North Myrtle Beach City Ordinance provisions: Article V (landscaping), except where (0') setbacks are permitted. Please note that a plant materials list along with conceptual landscape drawings are located in Appendix C; Ordinance 23-109 (open space), and 23-106 (height), except where a different standard is specified by an applicable government regulatory permit or within this P.D.D. Ordinance. Open space within Hope Pointe is enumerated in Table 3 below. *Please note that the minimum requirement of 15% open space for the PUD has been met in the aggregate, and not on a district-by-district basis.*

**2 Hope Pointe P.D.D. will provide landscaping within the perimeter buffer that at maturity will serve to screen views from adjacent properties along the side exterior property lines. "Infill" planting shall be a combination of canopy and under-story trees/bushes that will provide a minimum 80% opacity, throughout the year.*

A preliminary signage package is included with this amendment to the PDD

**TABLE 3
OPEN SPACE**

Project Phase	Approximate Upland Open Space Acreage Provided	Amount of Open Space Required (15% of total project acreage)
Phase 1	± 30.93Acres	N/A
Phase 2	± 0.27 Acres	N/A
Total	± 31.20Acres	± 9.85 Acres

Note: ±13.05 AC wetland area in total open space.

C. BUILDING MATERIALS

Developer intends that the project be developed using typical architectural elements of coastal South Carolina communities, incorporating stucco, brick stone, or horizontal lap/vertical board and batten cement board siding exterior wall finishes, architectural shingles, cedar shake, or standing seam metal

roofing, detailed exterior trim and architectural elements. The exterior colors will be consistent with traditional coastal South Carolina communities.

A "Material List" is provided as a part of the PDD First Amendment. In the event Developer should elect to modify the approved list of building materials following the PDD First Amendment approval, Developer shall resubmit the modified list for approval, at the time the preliminary site plan for the phase in which such materials are intended to be used is submitted.

D. ACCESS AND ENTRANCE FEATURES

An additional ±17.5-foot access easement will be preserved for potential future right-of-way, from that portion of the site adjacent to Little River Neck Road right-of-way to provide acceleration and deceleration lanes for ingress/egress should a future traffic analysis reveal the necessity of completion by others. *Further, the dedication is to provide the ability to improve Little River Neck Road for construction of a center/left turn lane into the subdivision.

*Note: "Provided approval of South Carolina Department of Transportation is obtained."

E. PARKING REQUIREMENTS

All parking will adhere to the proposed site plan to include provisions for parking within the driveways and within a combination of garages and driveways in tandem.

SECTION 6: MAINTENANCE AND CONTROL

It will be the responsibility of the Developer, and/or the owners associations, during construction to provide for the maintenance of the property within the P.D.D., including the ingress/egress easements.* Exceptions to this include, but are not limited to, planned public roads, Maintenance responsibilities and restrictions may cover the driveways, wetlands, landscape areas, trees, parking areas, walkways, open space, common areas, buildings and other features of the development as appropriate under this Ordinance, applicable City Zoning Regulations and Subdivision Regulations. Upon execution and recording of the master declarations of conditions, covenants, and restrictions, the foregoing responsibilities shall be assumed by the applicable commercial or residential property owners' associations.

**Note: The developer will maintain a twenty-five (25) foot landscape buffer abutting Little River Neck Road during the construction of phase I and phase II. At completion, all landscape buffering abutting Little River Neck Road will be in accordance with the standards required by the City of North Myrtle Beach.*

SECTION 7: TENTATIVE CONSTRUCTION SCHEDULE

Construction will begin following receipt of permits received from the City and other regulatory bodies. Although the nature of this long-term Project prevents the Developer from providing exact completion dates, the Developer anticipates that the following services, and structures, will be in place (or if not fully in place, the cost of their construction fully bonded or letter of credit posted pursuant to applicable City laws) as described and at the times provided below. This schedule is the Developer's best estimate of construction timing for the Project, may be subject to change depending on a variety of factors affecting the overall development of the Project including, but not limited to economic and market conditions.

PHASE I

SUMMER 2022 CONSTRUCTION OF PHASE I SINGLE-FAMILY, TOWNHOUSE, AMENITY AREAS AND MARINA WILL BEGIN.

{per Section 3 Phase I-A footnote (1)}

PHASE II

THE CONSTRUCTION OF PHASE II COMMERCIAL WILL BE PRIOR TO OR AT A MINIMUM OF THE 50% COMPLETION POINT OF THE TOTAL APPROVED DENSITY AS MEASURED BY BUILDING PERMIT.

Construction will begin following receipt of permits received from the City and other regulatory bodies.

SECTION 8: ADDITIONAL FEES AND PUBLIC BENEFITS

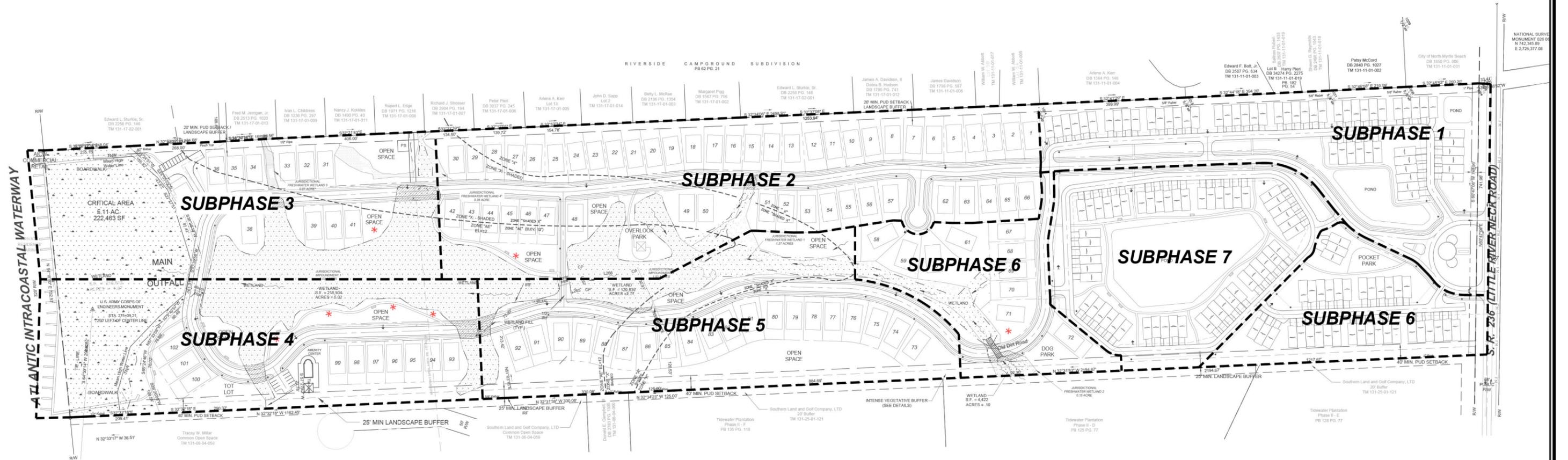
The Developer and the City acknowledge that the Property was previously subjected to the Esperanza P.U.D. (the "Prior Ordinance"), which Prior Ordinance included a contribution agreement requiring total contributions to the City in an amount equal to (i) \$50,000.00 for each the Eight (8) proposed phases of development, totaling \$400,000, and if not paid in full in 5 years, the remaining balance must be paid at the end of 5 years; and (ii) \$1,000.00 each of the proposed 375 residential units to be developed under the Prior Ordinance; and (iii) \$50,000.00 as a portion of the costs to be incurred by the City in commissioning a traffic study for Little River Neck Road. In lieu of the fees set forth under the Prior Ordinance, and in addition to any other fees set forth elsewhere in this Agreement, Developer and City acknowledge that the Project and its residents will place additional demands on certain services, resources and amenities provided by the City for its residents, and, in accordance with the terms of the PDD, Developer shall also pay to the City, or make for the benefit of the City, those public benefits set forth in the PDD, which fees are being paid in lieu of any other impact fees or development fees adopted by the City at any time during the Term of this Agreement, as set forth below:

- A. The contribution to the City of an amount equal to \$50,000.00 for each of the Eight (8) Phases within the PDD, at the time of Developer's submittal of a preliminary plat for each respective Phase, totaling \$400,000.00, provided that, not later than Ten (10) business days following the Fifth (5th) anniversary of this Agreement, Developer shall pay to the City, the difference between the total of the amounts previously paid by Developer to the City and \$400,000.00.

- B. Beachfront parking fee in an amount equal to \$1,100.00 per Residential Unit, together with a park enhancement fee in an amount equal to \$200.00 per Residential Unit, each as shown on the approved Master Plan, and which total of \$1,300.00 per Residential Unit shall be payable at the time of building permit issuance, provided, however that, to the extent the aggregate total of the beachfront parking fees and park enhancement fees paid in the aggregate are less than \$375,000.00, then, not later than Ten (10) business days following the 5th anniversary of the date of this Agreement, Developer shall pay an additional amount equal to the difference between the amounts previously paid for beachfront parking fees and park enhancement fees, in the aggregate, and the greater of (i) \$375,000.00; or (ii) an amount equal to \$1,300.00 per Residential Unit shown on the approved Master Plan.

APPENDIX A

PDD DOCUMENTATION (SURVEY, MASTER SITE PLAN, PHASING PLAN, MASTER WATER AND SEWER PLAN, MASTER DRAINAGE PLAN)



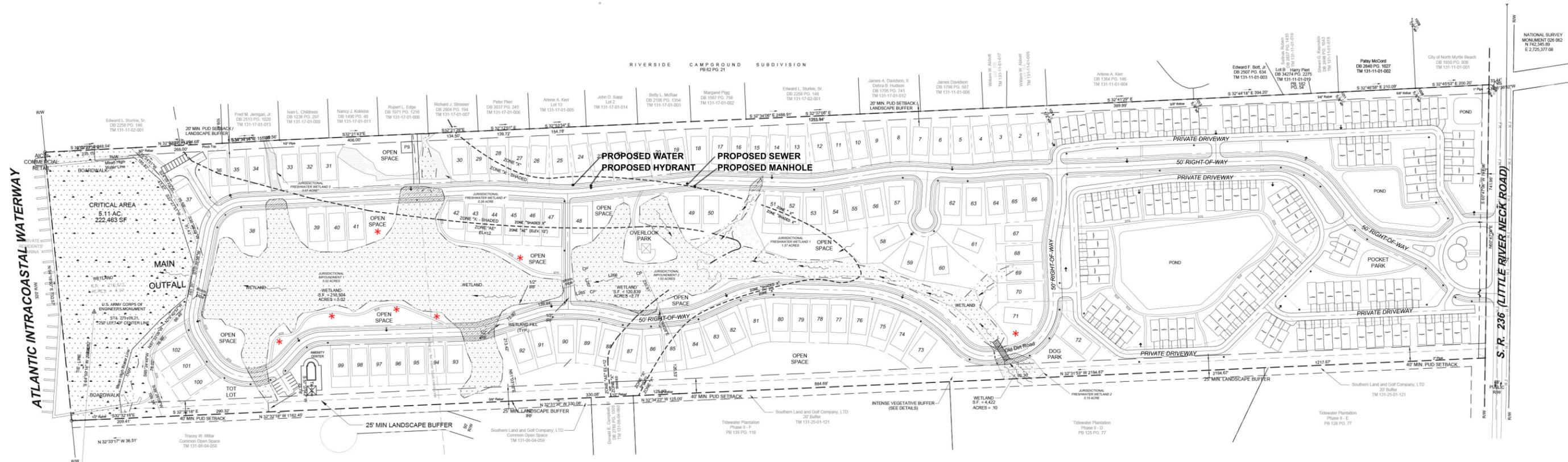
HOPE POINTE PDD SUBPHASING PLAN

City of North Myrtle Beach, SC

Prepared For: NVR, INC
08/10/2021

TOWNHOMES - 147 UNITS
SINGLE-FAMILY - 102 LOTS (52' x 120' TYP)

I:\NVR\177022021\NVR\177022021\Hope Pointe PDD Subphasing Plan.dwg, 8/10/2021 3:30:08 PM



LEGEND

-  WATER FLOW
-  PROPOSED STRUCTURE
-  WATER LINE
-  SANITARY SEWER LINE
-  HYDRANT LOCATION
-  EXERCISE STATION

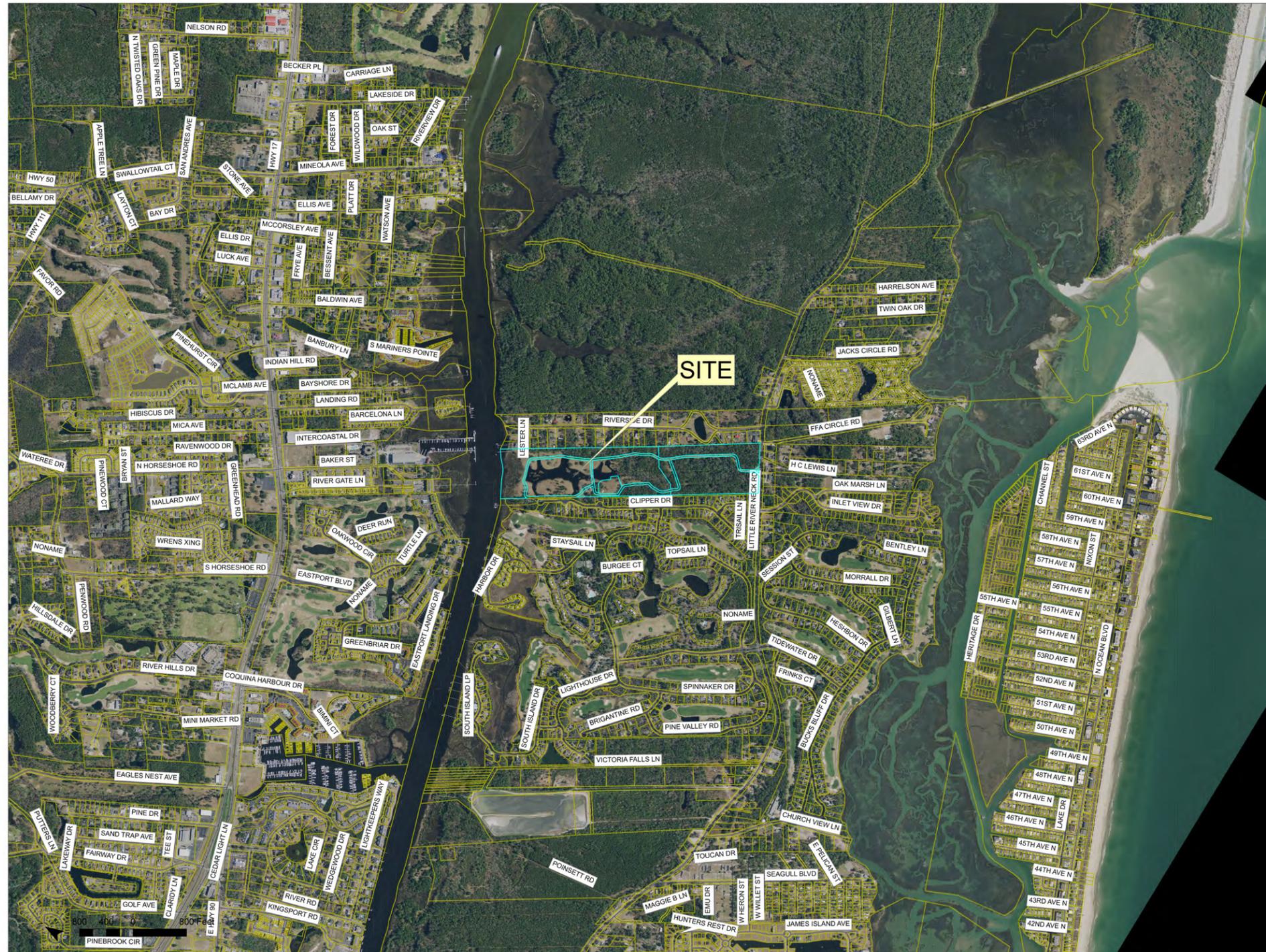
HOPE POINTE PDD WATER/SEWER/DRAINAGE

City of North Myrtle Beach, SC

Prepared For: NVR, INC
08/10/2021

APPENDIX B

HOPE POINTE P.D.D. VICINITY MAP AND ILLUSTRATIVE MASTER PLAN



HOPE POINTE PDD

VICINITY MAP

City of North Myrtle Beach, SC

Prepared For: NVR, INC
3/4/21

APPENDIX C

TYPICAL PROJECT ELEVATIONS



Home Pattern Book

for

Hope Pointe PDD

by

Ryan Homes

SECTION 1

"Sample Elevations & Styles"



















Hope Pointe Townhomes

Note: Trellis to be added over top of garage on all townhome units.



SECTION 2

"Material Diagram"



ARCHITECTURAL
ASPHALT SHINGLES

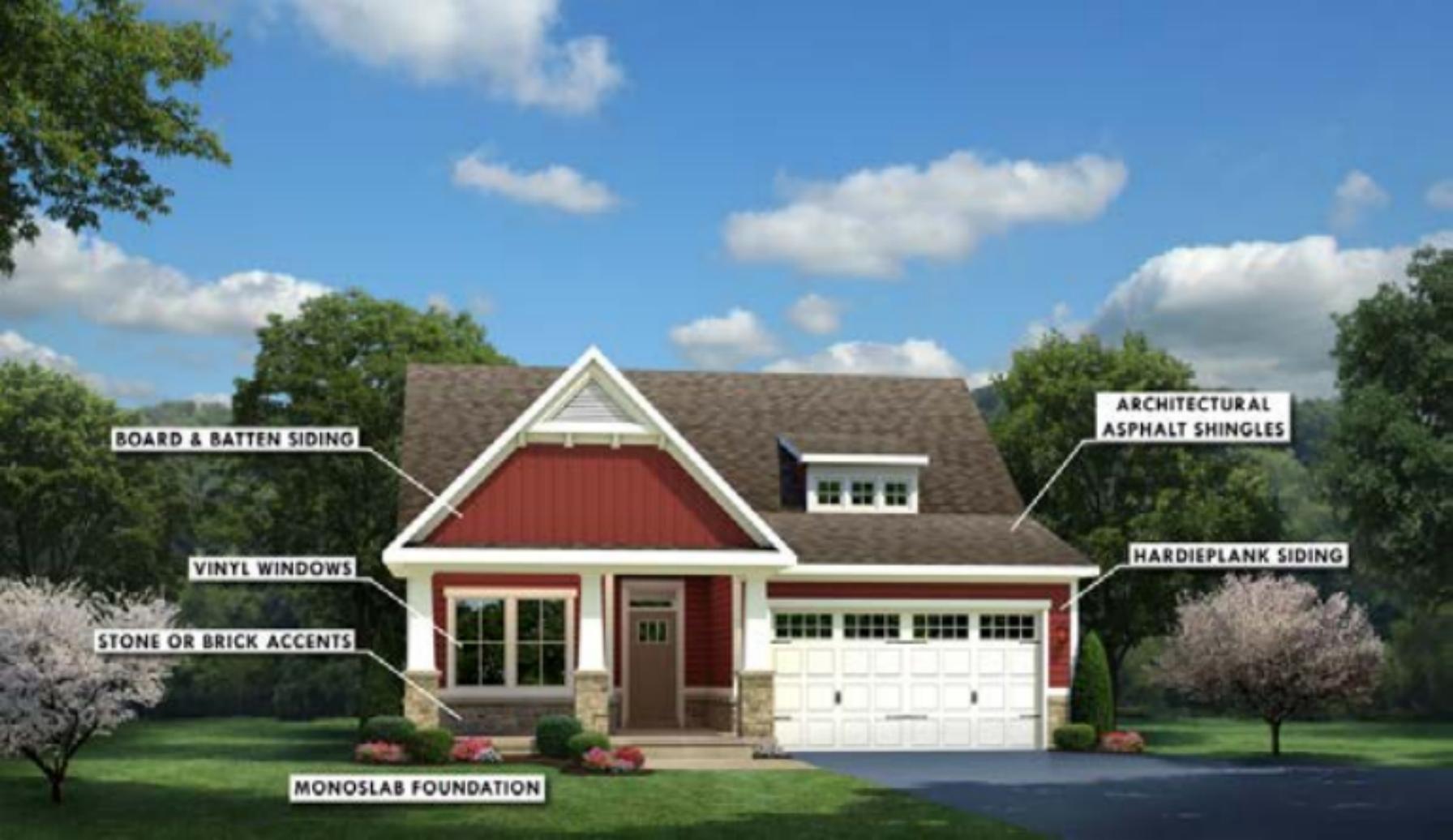
CEDAR SHAKE SIDING

HARDIEPLANK SIDING

VINYL WINDOWS

MONOSLAB FOUNDATION

BRICK OR STONE ACCENTS



BOARD & BATTEN SIDING

ARCHITECTURAL ASPHALT SHINGLES

VINYL WINDOWS

HARDIEPLANK SIDING

STONE OR BRICK ACCENTS

MONOSLAB FOUNDATION



**ARCHITECTURAL
ASPHALT SHINGLES**

BRICK OR STONE ACCENTS

VINYL WINDOWS

HARDIEPLANK SIDING

MONOSLAB FOUNDATION



HARDIEPLANK SIDING

VINYL WINDOWS

MONOSLAB FOUNDATION

**ARCHITECTURAL
ASPHALT SHINGLES**

BRICK OR STONE ACCENTS

**ARCHITECTURAL
ASPHALT SHINGLES**

CEDAR SHAKE SIDING

VINYL WINDOWS

HARDIEPLANK SIDING

STONE OR BRICK ACCENTS

MONOSLAB FOUNDATION



ARCHITECTURAL
ASPHALT SHINGLES

HARDIEPLANK SIDING

BOARD & BATTEN SIDING

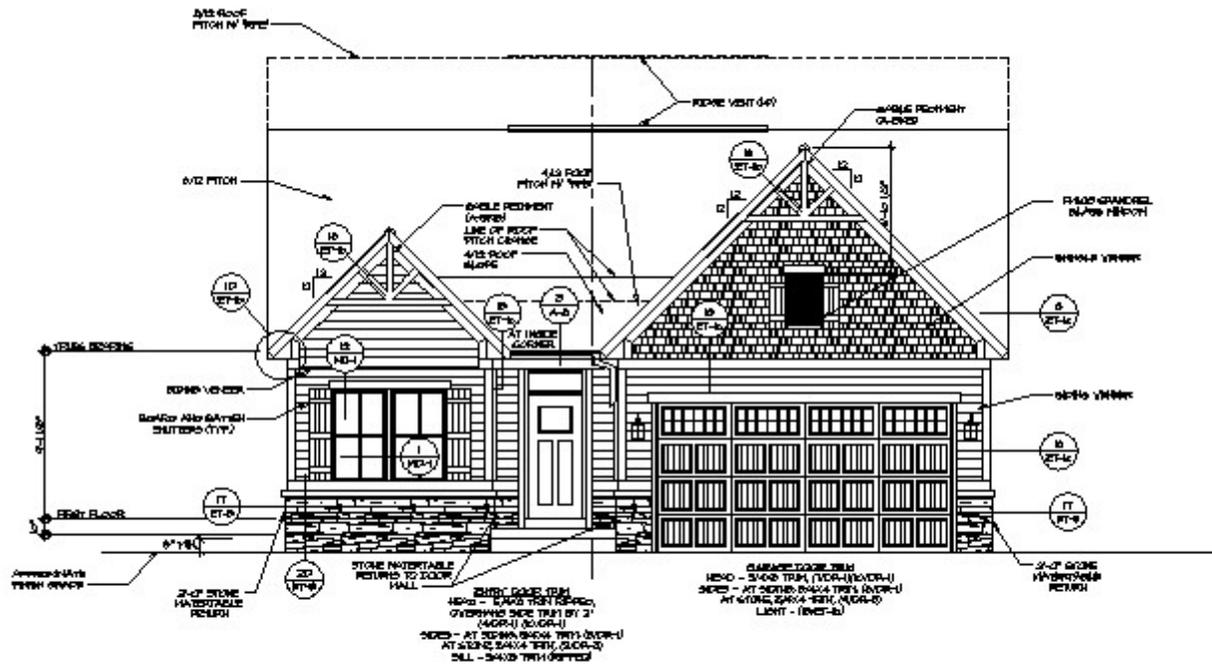
VINYL WINDOWS

STONE OR BRICK ACCENTS

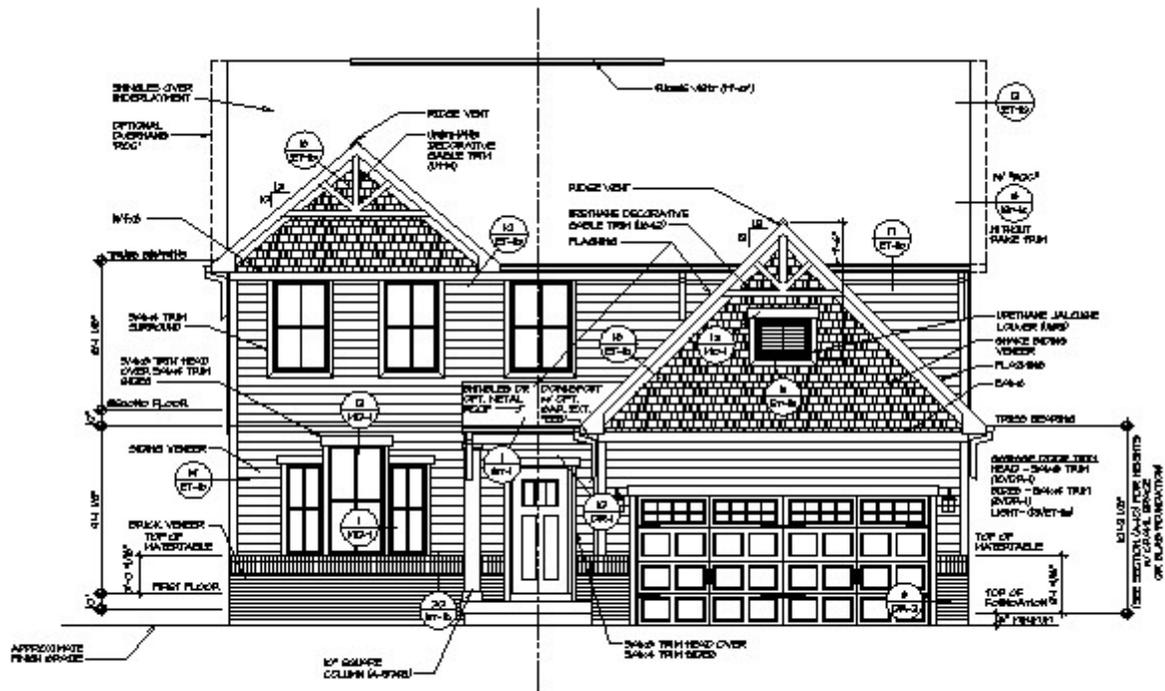
MONOSLAB FOUNDATION

SECTION 3

"Architectural Blueprints"

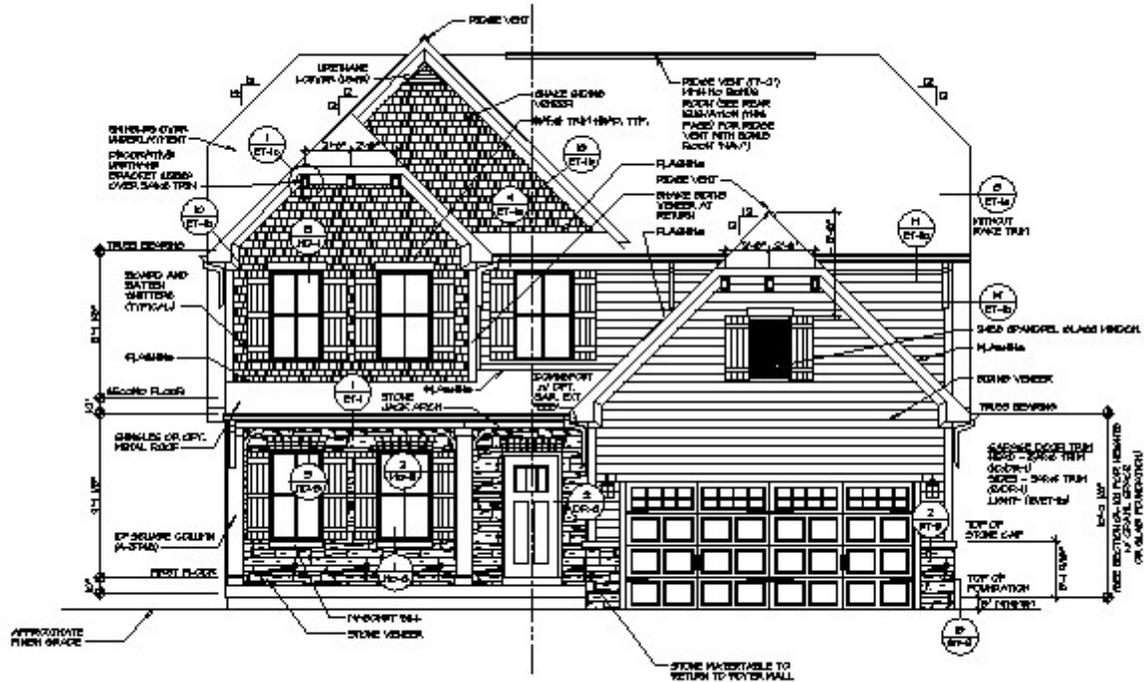


1 FRONT ELEVATION "K"
 SCALE 1/4" = 1'-0" FULL BASEMENT FINISH
 310'-0" x 310'-0" FRONT ENTRY GARAGE 10'-0"

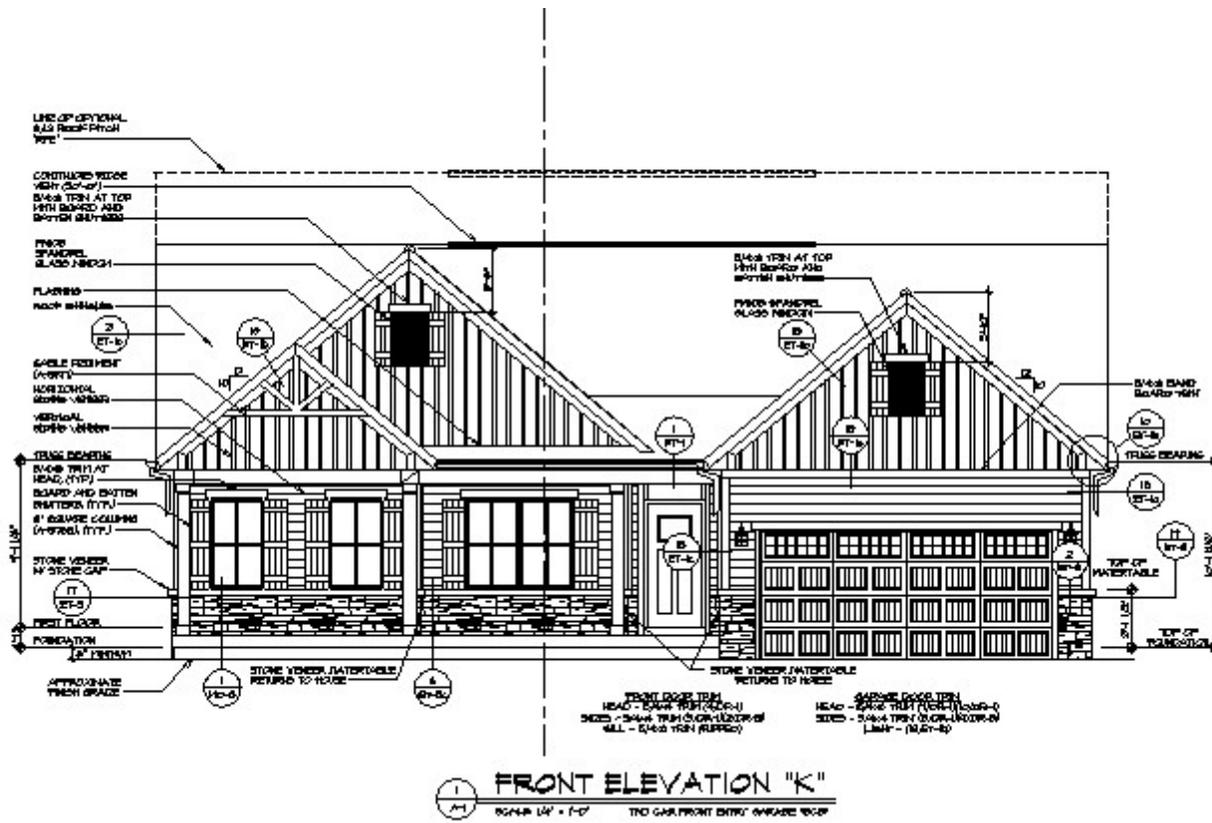


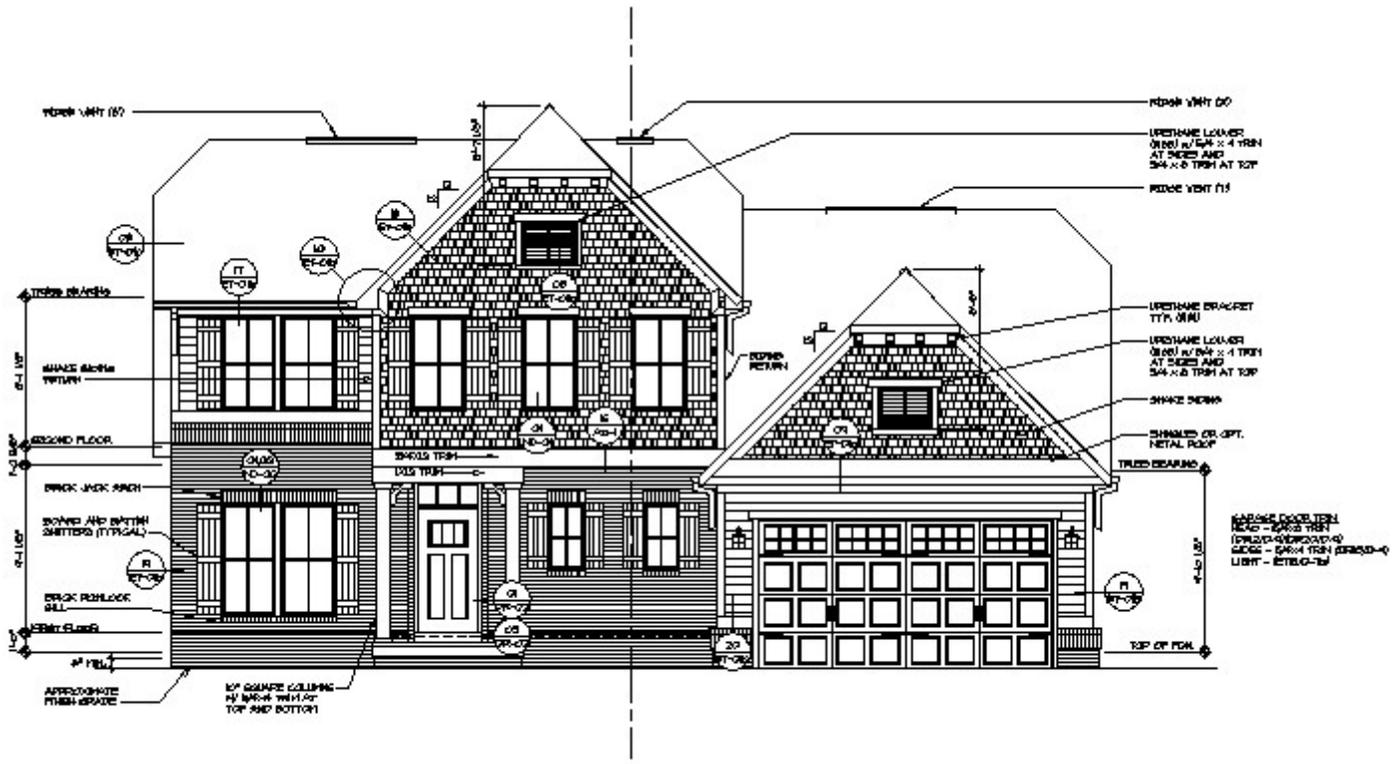
1
K
FRONT ELEVATION "K"
 SCALE: 1/4" = 1'-0" TWO CAR GARAGE FRONT EXIST' TOGO'

1/4" SCALE 1/4" = 1'-0" THE CAR GARAGE SIDE ENTRY "GG"

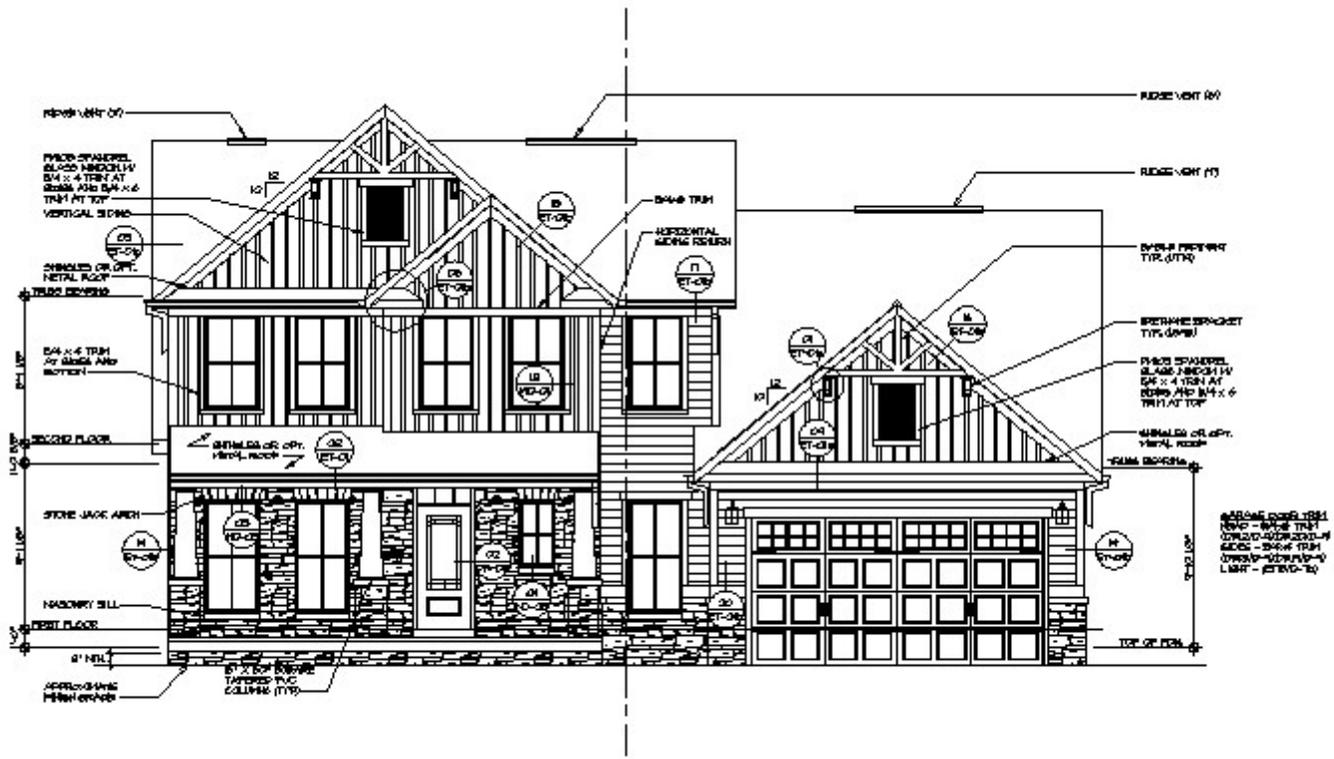


1 FRONT ELEVATION "M"
1/4" SCALE 1/4" = 1'-0" THE CAR GARAGE SIDE ENTRY "GG"

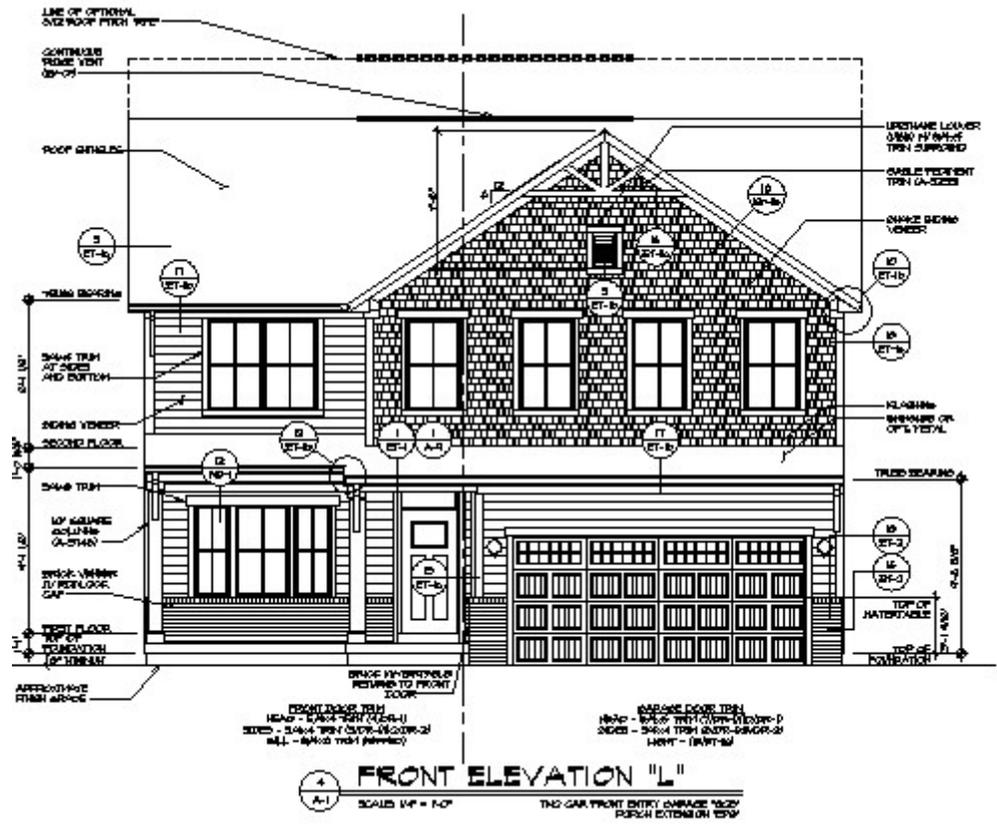


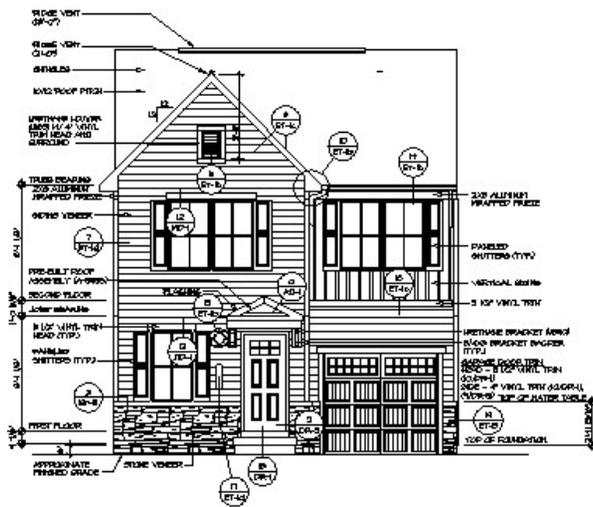


1
A-1
FRONT ELEVATION "K"
 SCALE: 1/8" = 1'-0" 2ND CAR FRONT ENTRY GARAGE 1002

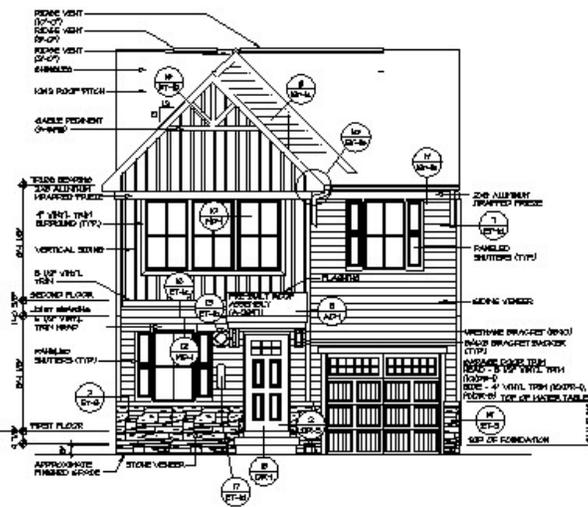


1 FRONT ELEVATION "L"
 SCALE: 1/4" = 1'-0" TWO CAR FRONT ENTRY GARAGE 1602P

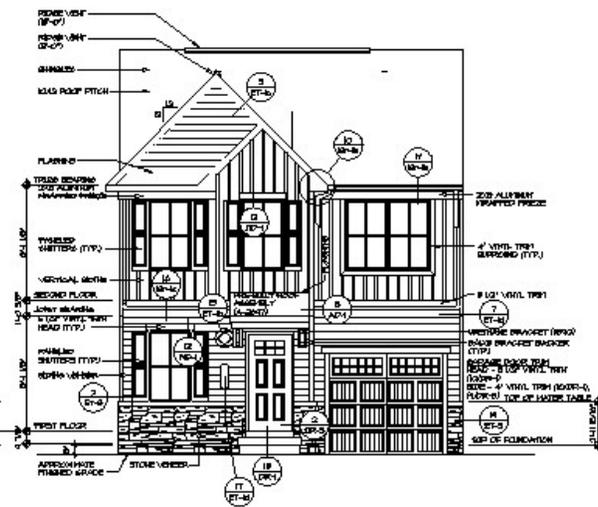




1 FRONT ELEVATION "K"
SCALE 1/4" = 1'-0"



2 FRONT ELEVATION "L"
SCALE 1/4" = 1'-0"



3 FRONT ELEVATION "M"
SCALE 1/4" = 1'-0"



UNIT D
ELEVATION 'K'
(PER PLAN)

UNIT C
ELEVATION 'M'
(PER PLAN)

UNIT B
ELEVATION 'K'
(PER PLAN)

UNIT A
ELEVATION 'L'
(REVERSE)



4 - UNIT BUILDING

SCALE: 1/8" = 1'-0"

NAS04

SECTION 4

"Optional Features"



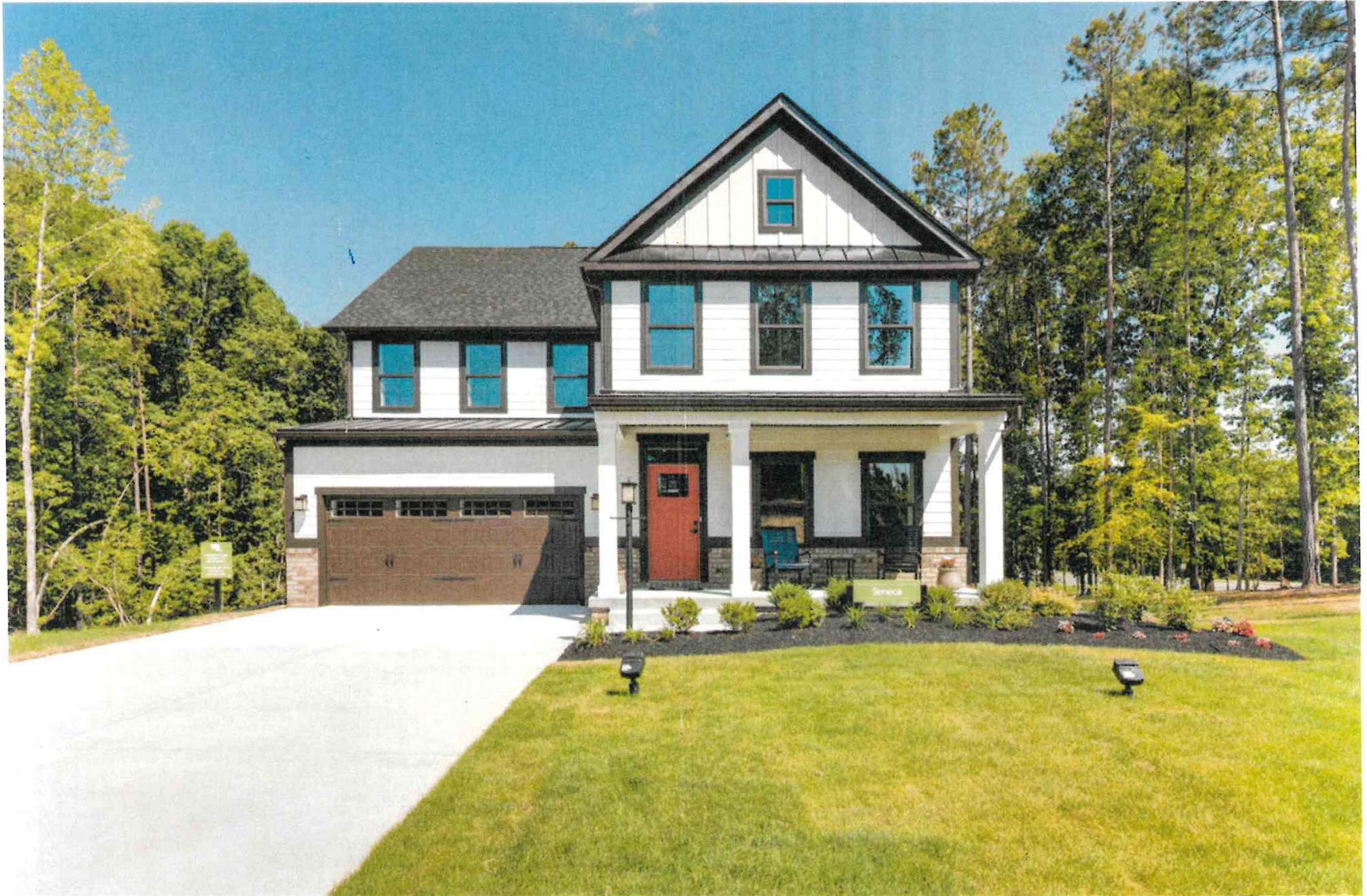
"Trellis Over Garage"



"Almond/Neutral Trim & Garage"



"Almond/Neutral Trim & Garage"

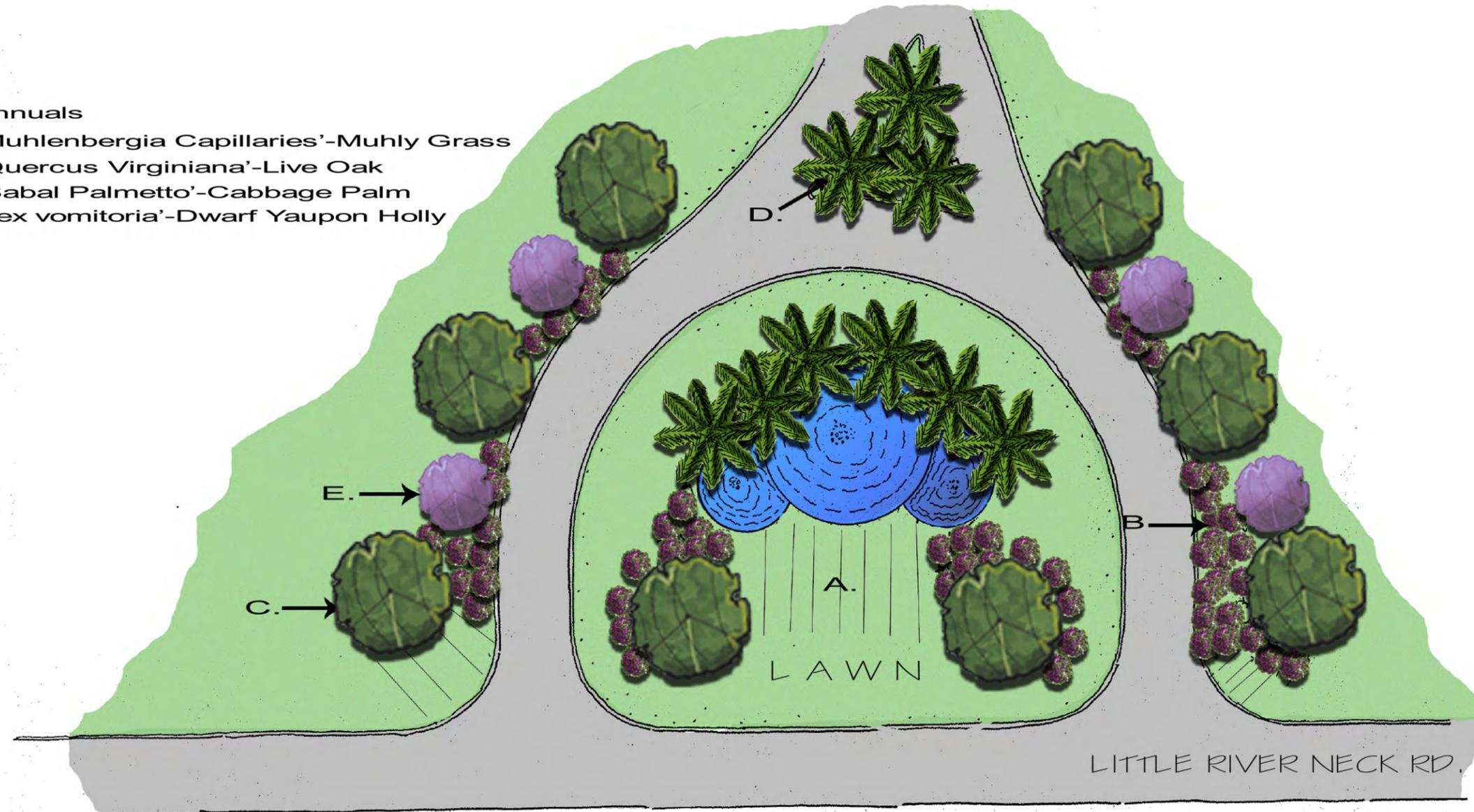


"Brown Trim & Garage"

APPENDIX D

**CONCEPTUAL LANDSCAPING PLANT LOCATION INCLUDING PROPOSED BUFFER PLANTINGS,
CONCEPTUAL LANDSCAPING PLAN AND PLANT MATERIALS LIST**

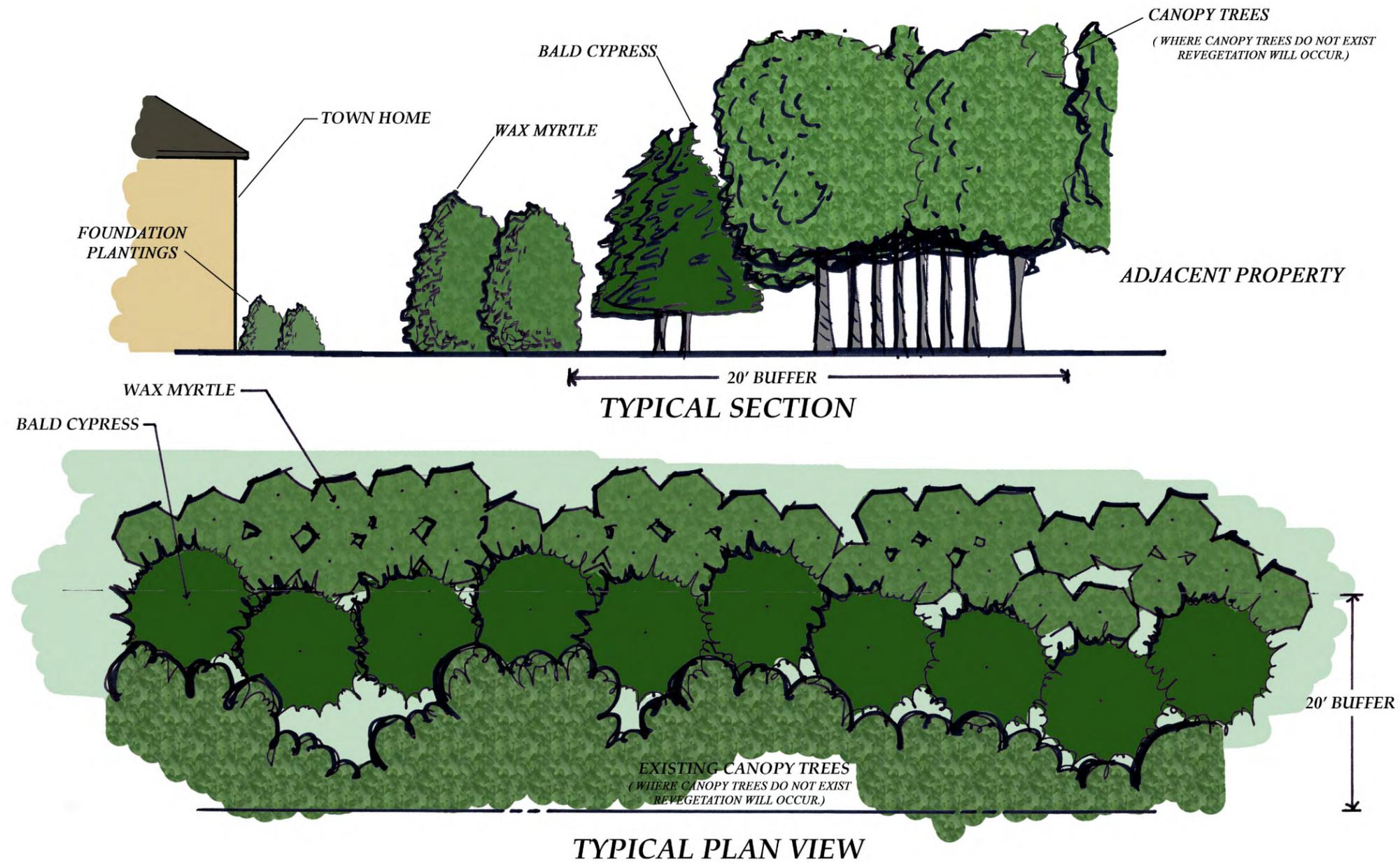
- A.- Annuals
- B.- 'Muhlenbergia Capillaries'-Muhly Grass
- C.- 'Quercus Virginiana'-Live Oak
- D.- 'Sabal Palmetto'-Cabbage Palm
- E.- 'Ilex vomitoria'-Dwarf Yaupon Holly



HOPE POINTE PDD CONCEPTUAL LANDSCAPE

City of North Myrtle Beach, SC

Prepared For: NVR, INC
3/4/21

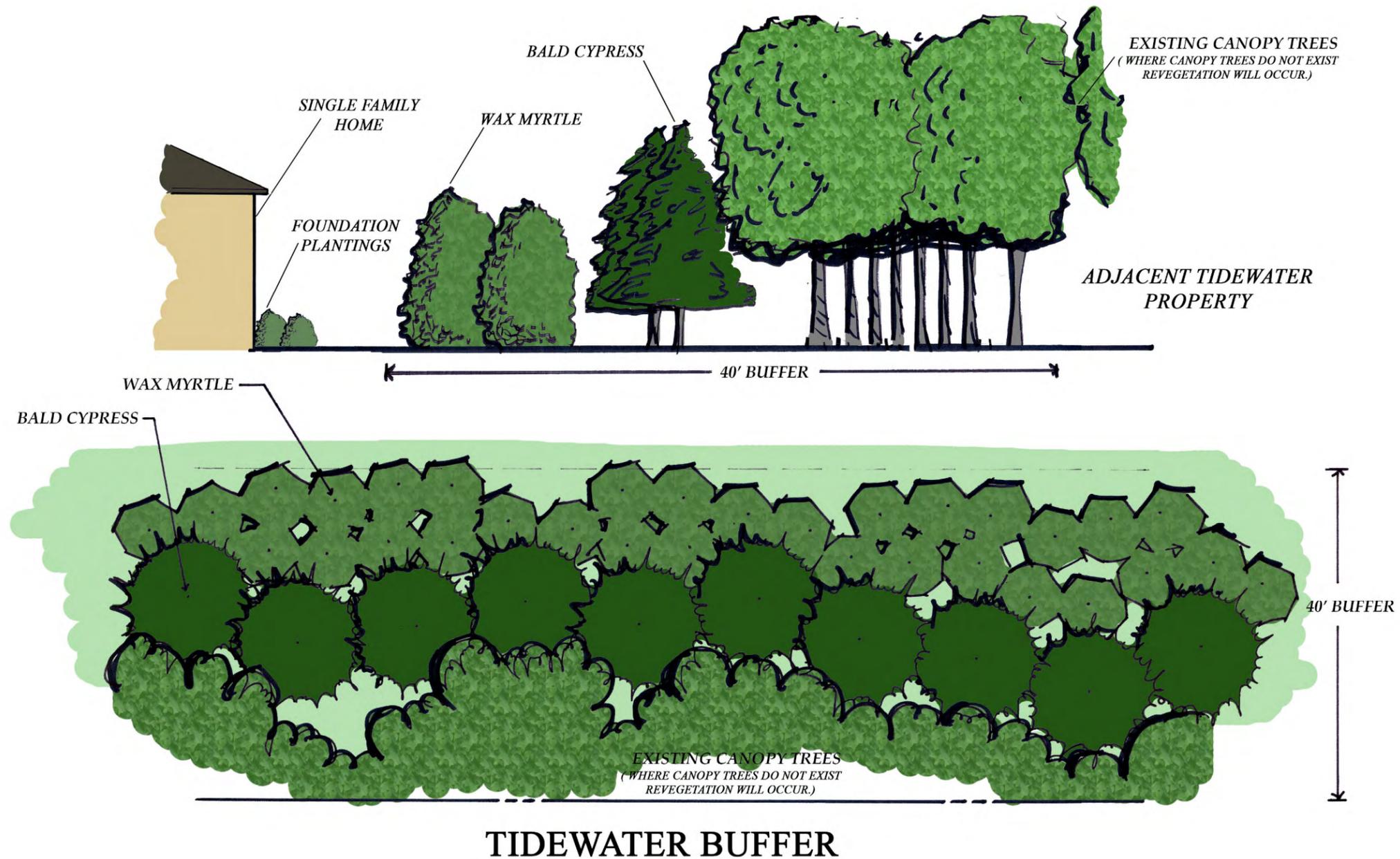


HOPE POINTE PDD

BUFFER 1

City of North Myrtle Beach, SC

Prepared For: NVR, INC
3/4/21



HOPE POINTE PDD
BUFFER 2
City of North Myrtle Beach, SC

Prepared For: NVR, INC
3/4/21

APPENDIX E
SITE AERIAL PHOTOGRAPHS



HOPE POINTE PDD AERIAL IMAGE

City of North Myrtle Beach, SC

Prepared For: NVR, INC
3/4/21

APPENDIX F
TYPICAL LIGHTING



Santee Cooper Light the Night Collection

APPENDIX G

SIGNAGE



Entrance & Monument Layout



Entrance & Monument Layout
PERSPECTIVE

HOPE POINTE PDD SIGN

City of North Myrtle Beach, SC

Prepared For: NVR, INC
3/4/21

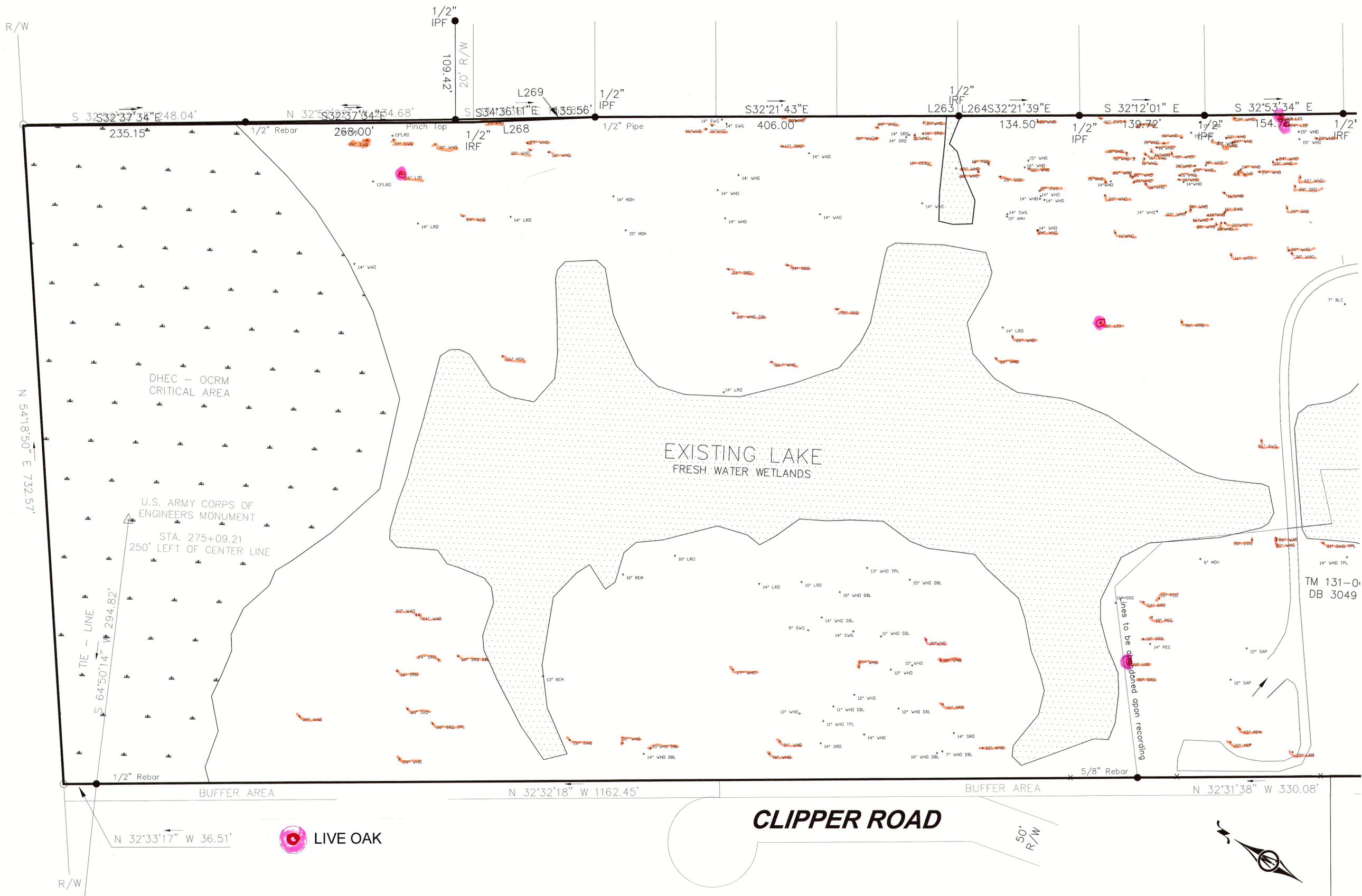
APPENDIX H

TREE EXHIBIT



No.	Date	Revision	Description	Scale	By
20028L	07/09/2021			1" = 50'	CA

File No.:	TREE VERIFICATION
Sheet No.:	1 OF 3
Prepared For:	Ryan Homes
HOPE PLANTATION Horry County, South Carolina	
TREE EXHIBIT	



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HOPE PLANTATION - EXISTING TREE KEY
16" CALIPER and LARGER

July 11, 2021

TREE KEY	COMMON NAME
AME	American Elm
AMH	American Holly
BLC	Black Cherry
BLG	Black Gum
CED	Red Cedar
* LIO *	LIVE OAK
LRO	Laurel Oak
MOH	Mockernut Hickory
PEC	Pecan
POO	Post Oak
REB	Red Bay
REM	Red Maple
SAP	Sabal Palm
SOM	Southern Magnolia
SRO	Southern Red Oak
SWG	Sweetgum
WAO	Water Oak
WHO	White Oak
YEP	Yellow Poplar (Tulip Poplar)

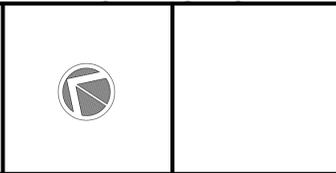
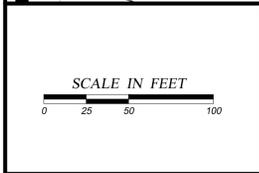
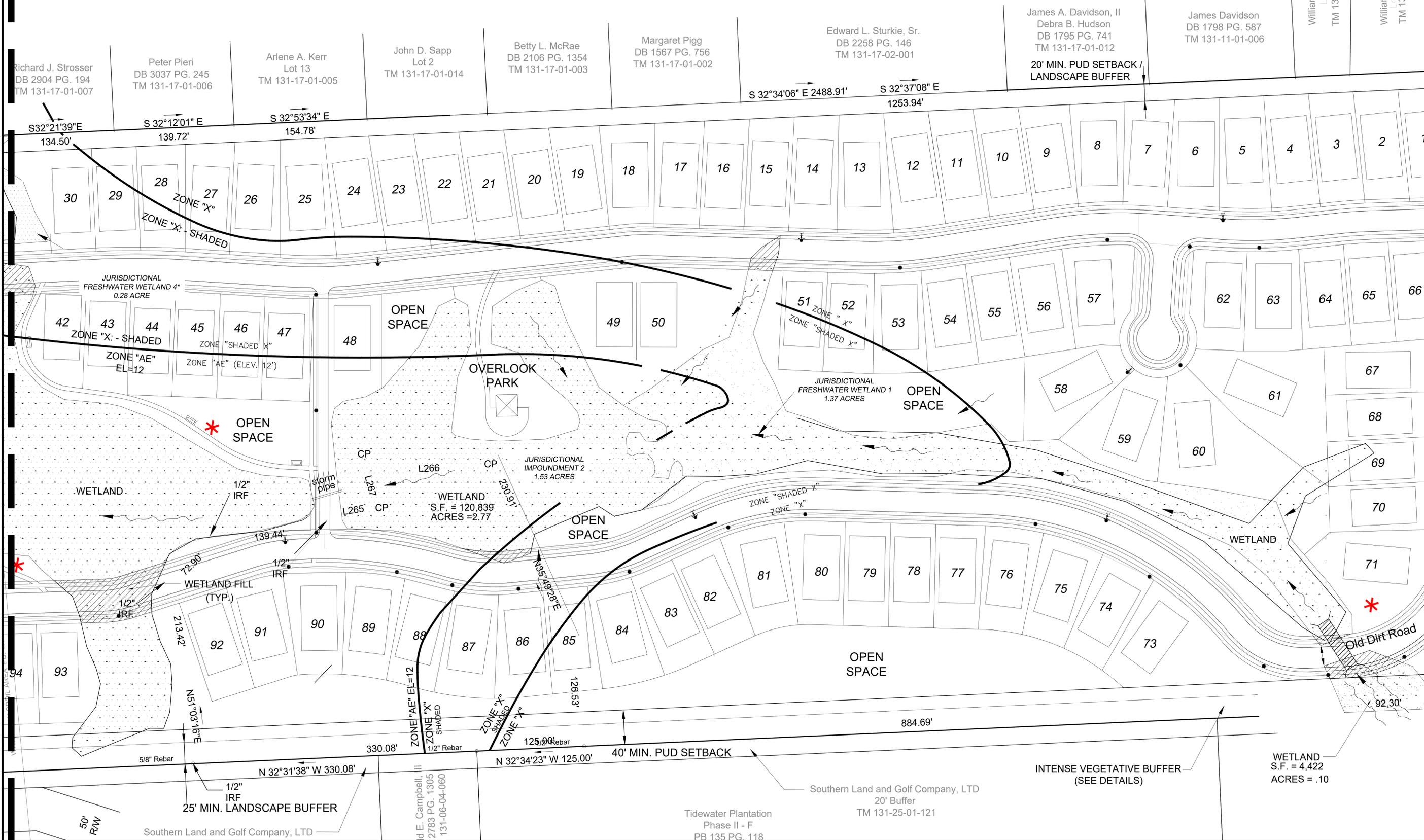
Notes:

- 1). A few Live Oaks on site mostly located on the western portion of the property.
- 2). Majority of trees on site over 16" are Sweetgums.
- 3). Second largest group of trees over 16" are the Oaks.
- 4). Some Red Maples and Black Gums over 16" scattered on site.
- 4). Small numbers of various other species on site.

APPENDIX I

ENCLOSURES

RIVERSIDE CAMPGROUND SUBDIVISION
PB 62 PG. 21



DDC Engineers
BOLTON & MENK, INC.
www.ddcinc.com

1298 PROFESSIONAL DRIVE
MYRTLE BEACH, SOUTH CAROLINA 29577
Phone: (843) 692-3200
Email: MyrtleBeach@bolton-menk.com
www.bolton-menk.com

DATE	08/05/2021			
SCALE	1"=50'			
DESIGNED	JLS / CCC			
DRAWN	CCC			
CHECKED	DDC			
CLIENT PROJ. NO.		NO.	DATE	REVISION DESCRIPTION

HOPE POINTE
HORRY COUNTY, SOUTH CAROLINA
CONCEPTUAL SITE PLAN
SHEET
C1.02

NATIONAL SURVEY
 MONUMENT 026 062
 N 742,345.89
 E 2,725,377.08

Arlene A. Kerr
 DB 1364 PG. 146
 TM 131-11-01-004

Edward F. Bott, Jr.
 DB 2507 PG. 634
 TM 131-11-01-003

Salinas Ruben
 DB 2637 PG. 1433
 TM 131-11-01-019
 Lot B Harry Pieri
 DB 34274 PG. 2275
 TM 131-11-01-019
 PB. 182
 PG. 54

Shawn G. Reynolds
 DB 2498 PG. 1043
 TM 131-11-01-018

Patsy McCord
 DB 2840 PG. 1027
 TM 131-11-01-002

City of North Myrtle Beach
 DB 1850 PG. 806
 TM 131-11-01-001

S 32°41'29" E
 399.99'

S 32°44'18" E 394.20'

S 32°46'58" E 210.09'

S 32°45'53" E 200.20'

N 26°36'52" W
 33.41'

POND

POND

POND

POCKET
 PARK

S 60°47'06" W 744.96'

741.96'

N 60°47'06" E

S. R. 236 (LITTLE RIVER NECK ROAD)

66'
 PUBLIC
 R/W

DOG
 PARK

72

N 32°31'53" W 2194.67'

JURISDICTIONAL
 FRESHWATER WETLAND 2
 0.15 ACRE

2194.67'
 25' MIN. LANDSCAPE BUFFER

1217.67'

40' MIN. PUD SETBACK
 2" Pipe

Southern Land and Golf Company, LTD
 20' Buffer
 TM 131-25-01-121

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SCALE IN FEET
 0 25 50 100



DDC Engineers
BOLTON & MENK, INC.
 www.ddcinc.com

1298 PROFESSIONAL DRIVE
 MYRTLE BEACH, SOUTH CAROLINA 29577
 Phone: (843) 692-3200
 Email: MyrtleBeach@bolton-menk.com
 www.bolton-menk.com

DATE	08/05/2021				
SCALE	1"=50'				
DESIGNED	JLS / CCC				
DRAWN	CCC				
CHECKED	DDC				
CLIENT PROJ. NO.		NO.	DATE	REVISION DESCRIPTION	BY

HOPE POINTE

HORRY COUNTY, SOUTH CAROLINA

CONCEPTUAL SITE PLAN

SHEET

C1.03

5A. PLANNED DEVELOPMENT DISTRICT AMENDMENT Z-21-6: City staff has received an application for a major amendment to the Esperanza Planned Development District (PDD) revising the PDD to the Hope Pointe PDD through changes to the master plan and governing documents.

History

Originally heard at the May 18 Planning Commission meeting, this agenda item was originally postponed to allow the applicant to respond to comments from Planning Commission and the public.

Background

Adjacent to Tidewater Plantation on Little River Neck Road, the Esperanza PDD was entitled in 2009. The originally approved PDD contained a variety of residential products – Single-family homes, townhouses, multiplexes, and multi-family condos. Other features of the original PDD included amenity areas, a community marina with 50 slips on the Atlantic Intracoastal Waterway, and a commercial area meeting the standards of the Neighborhood Commercial (NC) district at the front of the property on Little River Neck Road. The density of the original PDD was limited to 375 dwelling units, and the project provided 27.7% open space. No portion of the entitled PDD has been constructed except for the boat slips on the waterway, but an existing unused residence remains on the property.

Proposed Changes

The applicant, DDC Engineers, agent for the developer, has requested an amendment to the Esperanza PDD revising the project into Hope Pointe. This amendment reduces the overall density from 375 dwelling units to 250 dwelling units (1 single-family dwelling unit was removed in this revised proposal) and removes the previously approved multiplex and multi-family uses from the development (3.81 dwelling units per acre down from 5.71 dwelling units per acre previously). The neighborhood commercial area adjacent to Little River Neck Road is also removed and converted to an area for townhomes. The remaining commercial component of the PDD is a proposed retail ship's store on the Atlantic Intracoastal Waterway, near the existing community marina, which will be no larger than 5,000 square feet in size. This retail element will be completed prior to the issuance of 50% of the building permits for residential units within this project. The existing community marina will continue as a private marina limited in use to Hope Pointe property owners, and the development provides an amenity area for residents. Open space is increased from 27.7% to 47.5%.

The proposed development largely follows the previously created road network and winds around the existing wetlands on site. 146 townhomes are located at the front of the property adjacent to Little River Neck Road, and 104 single-family lots complete the residential portion of the development with typical dimensions of 52' by 120'. A standard 20' perimeter project setback applies throughout the project except the portion of the property which abuts Tidewater Plantation and Little River Neck Road. Along the Tidewater Plantation property line, a 40' minimum (in some places larger) perimeter buffer will be maintained with the first 25' of this buffer consisting of a year-round vegetated screen. Along Little River Neck Road, a 40' landscaped setback will also be provided.

Architecturally, the original Esperanza PDD was created as a Mediterranean coastal village with stucco or brick exteriors and tiled roofing. The Hope Point PDD revises this architectural style to a traditional coastal southern style using stucco, brick, stone, and a variety of siding types – horizontal lap, board and batten, and cedar shake – with architectural shingles or standing seam metal roofing. Street standards conform to city standards with a 50' right-of-way with sidewalks and street trees and 22' driveways for access to the townhome portions of the development.

Staff Review

Planning & Development, Planning Division

The Planning Department would like to make note of the following elements from the revised proposal:

- The maximum heights in Table 1: Proposed Dimensional Standards Chart do not match the heights in the development agreement.
- Table 2: Proposed Gross Densities should be updated to show the total and grand total number of dwelling units as 250; estimate gross density should also be updated in this table.
- The proposal includes two illustrative master plans, but the version that has been rendered using markers appears to be an older version that omits the Overlook Park. Inclusion of the Overlook Park in this revised proposal serves to provide more on-site amenities for residents to address the number of trips required on Little River Neck Road.
- The Home Pattern Book has been significantly expanded.
- Appendix E is not needed at this level of review and would be better included when the project goes through the subdivision/site-specific development plan process. (Previous version of the proposal specifically removed this element at staff's request.)

Planning & Development, Zoning Division

Per § 23-29(3)(a)(11) The Zoning Administrator would like to see an exhibit noting the general location of heritage trees and significant stands of protected trees.

Public Works

The Director of Public Works has no issues with the proposed amendment.

Public Safety

The Fire Marshal has no issues with the proposed amendment.

According to § 23-4, *Amendments*, of the Zoning Ordinance, the advertisement requirement for Zoning Ordinance amendments is 15 days, and that advertisement notice has been met. The amendment is presented to the Planning Commission for a recommendation that will be forwarded to City Council at their next meeting scheduled for July 19, 2021.

Planning Commission Action

The Planning Commission may recommend approval, recommend approval with modifications and/or conditions, or recommend denial of the proposal as submitted.

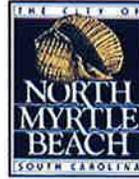
Alternative Motions

- 1) I move that the Planning Commission recommend approval of the major planned development district amendment to the Esperanza PDD creating Hope Pointe [Z-21-6] as submitted.

OR
- 2) I move that the Planning Commission recommend denial of the major planned development district amendment to the Esperanza PDD creating Hope Pointe [Z-21-6] as submitted.

OR
- 3) I move (an alternate motion).

PDD Zoning Finance Account Code:	3.22
FEE PAID:	500 on March 26, 2021
FILE NUMBER:	Z-21-6
Complete Submittal Date:	March 26, 2021



Notice Published:	
Planning Commission:	
First Reading:	
Second Reading:	

City of North Myrtle Beach, SC

**Application for a Major Amendment
to a Planned Development District
(PDD)**

GENERAL INFORMATION	
Date of Request: March 26, 2021	Property PIN(S): 35200000001, 31200000470, 31213030035
Property Owner(s): DDC Engineers - AGENT	Type of Zoning Map Amendment: Major PDD Amendment
Address or Location: 5225 Little River Neck Road	Project Contact: Patty Crawford
Contact Phone Number: 843-692-3200	Contact Email Address: Sean.Hoelscher@bolton-menk.com
PDD Name: Esperanza	Total Area of Property: 65.69 Acres
Proposed Amendment: Updating PUD to new Hope Pointe PDD document and exhibits	
RECORDED COVENANT INFORMATION	
I hereby certify that the tract(s) or parcel(s) of land to which this approval request pertains is not restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the activity for which approval is sought, as provided in South Carolina Code of Laws (§ 6-29-1145). Applicant's E-signature: <u>true</u>	
This form complies with a state law that took effect on July 1, 2007 (S.C. Code § 6-29-1145) that requires all planning agencies to inquire in an application for a permit if the parcel of land is restricted by a recorded covenant that is contrary to, conflicts with, or prohibits the permitted activity. If such a covenant exists, the agency shall not issue the permit until written confirmation of its release is received. The release must be through the action of an appropriate legal authority.	

1018 2nd Avenue South · North Myrtle Beach, SC 29582 · Telephone: (843) 280-5566 · Facsimile: (843) 280-5581

North Myrtle Beach
843-280-5560 or 843-280-5585

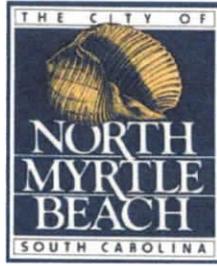
REF#: 61694071 3/26/2021 2:01 PM
OPER: 02 TERM: 002
REF#: 1172 15

TRAN: 3.2200 PUD FEE
DDC ENGINEERS
BUILDING PERMITS 500.0000

TENDERED: 500.00 CHECK
APPLIED: 500.00-

CHANGE: 0.00

PAID
MAR 26 2021



CITY OF NORTH MYRTLE BEACH
LETTER OF AGENCY

Revision Date 05.24.19

Today's Date: 06/15/21

Nature of Approval Requested: PDD Zoning

Property PIN(s): 35200000001; 31213030035; 31200000470

Property Address/Location: Adjacent to Tidewater Plantation & Little River Neck Road

I, Allen McCall, hereby authorize James M. Wooten, PE

to act as my agent for the purposes of the above referenced approval.

Allen McCall
Signature
MANAGING MEMBER
Title

Signature

Title

Please have all property owners sign application; disregard additional spaces if not needed. If additional signature lines are required, please duplicate this sheet and bind all sheets together into one document.